

**WORK SESSION AGENDA OF THE CITY COUNCIL OF
HURST, TEXAS
CITY HALL, 1505 PRECINCT LINE ROAD
FIRST FLOOR CONFERENCE ROOM
TUESDAY, JANUARY 23, 2024 – 5:30 P.M.**

I. Call to Order

II. Informational Items

- **Update and discussion of upcoming Calendar Items**

III. Update and discussion of Regular Agenda Items

IV. Discussion of Agenda Item(s) 2

Consider Ordinance 2557, second reading, to consider SITE-2023-00010 Quick Quack Car Wash, a site plan for Lot 7A, Block 1 Olde Towne Square Addition, being 1.06 acres located at 701 Airport Freeway

V. Discussion of Agenda Item(s) 3

Consider Ordinance 2558, second reading, to consider SITE-2023-00017 Monkey Mouths Pediatric Therapy, a site plan revision for Lot 13 and 14, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 BentrIDGE Road

VI. Discussion of Agenda Item(s) 4

Consider authorizing the city manager to proceed with the Central and Chisholm Aquatics Centers slide maintenance and repair project

VII. Discussion of Agenda Item(s) 5

Consider authorizing the city manager to enter into an agreement with Dunaway Associates, LLC for demolition design services

VIII. Discussion of Agenda Item(s) 6

Consider authorizing the city manager to increase billing rates for EMS treatment and transport and ambulance subscription rates

IX. Discussion of Agenda Item(s) 7

Consider designating Ponderosa Drive from Precinct Line Rd east 762 feet to 732 Ponderosa Drive as the FY 2024 – 50th Year Community Development Block Grant (CDBG) Program Project

X. Discussion of Agenda Item(s) 8

Consider authorizing the city manager to enter into a contract with GRod Construction, LLC, for the State Highway 26 @ TXDOT STA. 238+00 – 12” Sanitary Sewer Crossing

EXECUTIVE SESSION in Compliance with the Provisions of the Texas Open Meetings Law, Authorized by Tex. Government Code Section Code Section 551.087 deliberation and conducting of economic development negotiations regarding financial information relative to prospective business expansion in the City and to reconvene in Open Session at the conclusion of the Executive Session

XI. ADJOURNMENT

Posted by: _____

This the 19th day of January 2024, by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

Any item on this posted agenda could be discussed in executive session as long as it is within one of the permitted categories under sections 551.071 through 551.076 and section 561.087 of the Texas Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary’s office at (817) 788-7041 or FAX (817) 788-7054, or call TDD 1-800-RELAY-TX (1-800-735-2989) for information or assistance.

**REGULAR MEETING AGENDA OF THE CITY COUNCIL OF HURST, TEXAS
CITY HALL, 1505 PRECINCT LINE ROAD
TUESDAY, JANUARY 23, 2024**

AGENDA:

5:30 p.m. - Work Session (City Hall, First Floor Conference Room)

6:30 p.m. - City Council Meeting (City Hall, Council Chamber)

CALL TO ORDER

INVOCATION (Mayor Pro Tem Gary Waldron)

PLEDGE OF ALLEGIANCE

CONSENT AGENDA

1. Consider approval of the minutes for the January 9, 2024 City Council meetings
2. Consider Ordinance 2557, second reading, to consider SITE-2023-00010 Quick Quack Car Wash, a site plan for Lot 7A, Block 1 Olde Towne Square Addition, being 1.06 acres located at 701 Airport Freeway
3. Consider Ordinance 2558, second reading, to consider SITE-2023-00017 Monkey Mouths Pediatric Therapy, a site plan revision for Lot 13 and 14, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 BentrIDGE Road
4. Consider authorizing the city manager to proceed with the Central and Chisholm Aquatics Centers slide maintenance and repair project
5. Consider authorizing the city manager to enter into an agreement with Dunaway Associates, LLC for demolition design services

OTHER BUSINESS

6. Consider authorizing the city manager to increase billing rates for EMS treatment and transport and ambulance subscription rates
7. Consider designating the reconstruction of Ponderosa Drive from Precinct Line Rd east 762 feet to 732 Ponderosa Drive as the FY 2024 – 50th Year Community Development Block Grant (CDBG) Program Project
8. Consider authorizing the city manager to enter into a contract with GRod

Construction, LLC, for the State Highway 26 @ TXDOT STA. 238+00 – 12” Sanitary Sewer Crossing

9. Review of upcoming calendar items
10. City Council Reports - Items of Community Interest

PUBLIC INVITED TO BE HEARD – A REQUEST TO APPEAR CARD MUST BE COMPLETED AND RETURNED TO THE CITY SECRETARY TO BE RECOGNIZED. CITIZEN COMMENTS ARE LIMITED TO A MAXIMUM OF 3 MINUTES PER SPEAKER

EXECUTIVE SESSION in Compliance with the Provisions of the Texas Open Meetings Law, authorized by Tex. Government Code Section Code Section 551.087 deliberation and conducting of economic development negotiations regarding financial information relative to prospective business expansion in the City and to reconvene in Open Session at the conclusion of the Executive Session

11. Take any and all action necessary ensuing from Executive Session

ADJOURNMENT

Posted by: _____

This 19th day of January 2024, by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

Any item on this posted agenda could be discussed in executive session as long as it is within one of the permitted categories under sections 551.071 through 551.076 and section 561.087 of the Texas Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary’s office at (817) 788-7041 or FAX (817) 788-7054, or call TDD 1-800-RELAY-TX (1-800-735-2989) for information or assistance.

**Minutes
Hurst City Council
Work Session
Tuesday, January 9, 2024**

On the 9th day of January 2024, at 5:15 p.m., the City Council of the City of Hurst, Texas, convened in Work Session at City Hall, 1505 Precinct Line Road, Hurst, Texas, with the following members present:

Henry Wilson	)	Mayor
Gary N. Waldron	)	Mayor Pro Tem
Cathy Brotherton	)	Councilmembers
Cindy Shepard)	
Jon McKenzie)	
John Miller)	
Jimmy Meeks)	
Clay Caruthers	)	City Manager
Matthew Boyle	)	City Attorney
Malaika Marion Farmer	)	Assistant City Manager
Clayton Fulton	)	Assistant City Manager
Rita Frick	)	City Secretary
Michelle Lazo	)	Executive Director of Planning and Development
Chris Connolly	)	Executive Director of Economic Development
Greg Dickens	)	Executive Director of Public Works
Kyle Gordon	)	Executive Director of Community Services
Sunny Patel	)	Director of Information Technology
Shelly Klein	)	Assistant to the City Manager

With the following Councilmembers absent: none, constituting a quorum; at which time, the following business was transacted:

I. Call to Order – The meeting was called to order at 5:15 p.m.

The work session items were discussed in the following order: II, XIV, VI, VII, VIII, IX, X and XI. The remaining items were not discussed.

II. Informational Items

- **Update and discussion of upcoming Calendar Items** – City Manager Clay Caruthers reviewed several upcoming dates, noting February 29 for the Town Hall Forum and March 22 for the Council Strategic Planning meeting. He also advised of upcoming Northeast Fire Department Association training at Bellaire Elementary School and how the event will be communicated to parents and surrounding neighbors.
- **Update and discussion of citizen survey** – Assistant City Manager Clayton Fulton briefed Council on the upcoming Citizen Survey noting a few minor changes to the questions for clarity and stated the survey will run from January 19 through the Town Hall Forum February 29.

III. Update and discussion of Regular Agenda Items

Discussion of Agenda Item(s) 2

Consider Ordinance 2554, second reading, to consider SITE-2023-00014, Lonesome Dove Sunroom, a site plan revision on Lot 8A, Block 4 Lonesome Dove Office Park Addition, being .54 acre located at 761 Lonesome Dove Trail

IV. Discussion of Agenda Item(s) 3

Consider Ordinance 2555, second reading, to consider SITE-2023-00018 Noctis Liquor & Spirits, a Special Use Permit for packaged alcohol sales on a portion of Lot 2, Block 3 Woodbridge Plaza Addition, being 2.81 acres located at 420 Grapevine Highway

V. Discussion of Agenda Item(s) 4

Consider Ordinance 2556, second reading, amending Chapter 27 of the Hurst Code of Ordinances to require a Specific Use Permit for all convenience stores and CBD retail stores before issuing a Certificate of Occupancy

VI. Discussion of Agenda Item(s) 5

Consider authorizing the Cotton Belt Trail Bridge repair project

Executive Director of Community Services Kyle Gordon briefed Council on the Cotton Belt Trail Bridge repair project noting the deterioration of the existing pine planks and plans to replace with Douglas Fir Q-Nap treated planks that have a longer lifespan. He stated there is a sixteen-week lead time to receive materials; the project is expected to last four weeks.

VII. Discussion of Agenda Item(s) 6

Consider authorizing the city manager to enter into an agreement with Ford AV to install a new AV system in the Council Chamber

Director of Information Technology Sunny Patel briefed Council on the proposed new AV system in the Council Chamber noting previous system upgrades, not including the current main controller. He stated the city will be utilizing the TIPS contract with Ford Audio Visual with a \$54,000 cost, including a 10% contingency.

VIII. Discussion of Agenda Item(s) 7

Consider authorizing the city manager to enter into a 3-year agreement with ESRI for Enterprise Licensing

Director of Information Technology Sunny Patel briefed Council on the proposed agreement with ESRI for enterprise licensing for the city's Geographic Information System noting this purchase helps create efficiency for departments and citizens who utilize the various GIS maps and statistical data. He stated the agreement is a 3-year contract with the price locked in at \$40,900 per year and reviewed the request for a not to exceed amount of \$139,300 including additional one-time costs and contingency.

IX. Discussion of Agenda Item(s) 8

Consider authorizing the city manager to enter into an agreement with Ring Central and other

vendors to implement and host a phone system for a minimum 5-year term

Director of Information Technology Sunny Patel briefed Council on the proposed agreement with Ring Central and other vendors to implement and host a phone system noting staff recommends entering into a minimum 5-year term with Ring Central. Mr. Patel noted the existing system was installed in 2011 when the Hurst Conference Center opened and the center has recently been experiencing issues with the phone system. He stated after investigation, staff believes moving to a hosted system will be beneficial, allowing additional features, redundancy, and removes the need for hardware on premise. Mr. Patel reviewed funding noting the project cost of \$40,000.

X. Discussion of Agenda Item(s) 9

Conduct a public hearing and consider Ordinance 2557, first reading, to consider SITE-2023-00010 Quick Quack Car Wash, a site plan for Lot 7A, Block 1 Olde Towne Square Addition, being 1.06 acres located at 701 Airport Freeway (Continued from the December 12, 2023 Council Meeting)

Executive Director of Planning and Development Michelle Lazo briefed Council on SITE-2023-00010 Quick Quack Car Wash, a site plan for Lot 7A, Block 1 Olde Towne Square Addition, being 1.06 acres located at 701 Airport Freeway noting the applicant is requesting to construct a 3,300 square feet car wash with a dual lane self-service pay kiosk and 16 vacuum kiosks. She reviewed ingress and egress, landscaping, elevation and signage. Council discussed the site layout, traffic and shared access.

XI. Discussion of Agenda Item(s) 10

Conduct a public hearing and consider Ordinance 2558, first reading, to consider SITE-2023-00017 Monkey Mouths Pediatric Therapy, a site plan revision for Lot 13 and 14, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 Bentrige Road

Executive Director of Planning and Development Michelle Lazo briefed Council on SITE-2023-00017 Monkey Mouths Pediatric Therapy noting the proposed site plan revision is to combine two lots on Bentrige for a new Monkey Mouths Pediatric Therapy office with 10,189 square feet. Ms. Lazo reviewed landscaping, building elevation and signage.

XII. Discussion of Agenda Item(s) 11

Conduct a public hearing to receive public input for the FY 2024-50th year Community Development Block Grant (CDBG) Program

Executive Director of Public Works Greg Dickens briefed Council on the requirements to receive H.U.D funding in 2024 for projects designed to upgrade low to moderate-income neighborhoods in the Community Development Block Grant (CDBG) area. He stated the hearing tonight is to seek public input regarding projects eligible for the grant and if there is no input from the public, the city will offer a program on Ponderosa Drive at the next meeting.

XIII. Discussion of Agenda Item(s) 12

Consider P-2023-00007 Precinct Ridge Office Park Addition, a replat of Lots 13 and 14 to Lot 13R, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 Bentrige Drive

Executive Director of Planning and Development Michelle Lazo briefed Council on the proposed plat to support the Monkey Mouths Pediatric Therapy site plan revision discussed earlier this evening.

XIV. Discussion of Agenda Item(s) 13

Consider Resolution 1852 calling the May 4, 2024 General Election of Officers

City Secretary Rita Frick briefed Council on the Resolution Calling the May 4, 2024 General Election of Officers.

XV. Discussion of Agenda Item(s) 14

Consider authorizing a subscription to Placer AI for data analytics service pertaining to business placement, development, and infill

Executive Director of Economic Development Chris Connolly briefed Council on the proposed subscription to Placer AI for data analytics noting the benefits of a comprehensive look at markets to help target best use for empty retail space based on data collected. Mr. Connolly also noted the data collected by Placer AI is scrubbed and takes away any personal identifiers.

XVI. Discussion of Agenda Item(s) 15

Consider authorizing the city manager to enter into an engineering services contract Amendment No. 2 with Freese and Nichols, Inc. for the Mary Drive 0.75 MG Elevated Storage Tank (EST) Project

Executive Director of Public Works Greg Dickens briefed Council on the proposed engineering contract Amendment No. 2 to modify plans and specifications to allow an alternate bid for a concrete pedestal composite elevated storage tank versus the base bid of a multi-leg steel elevated storage tank. City Manager Clay Caruthers noted the bid alternative allows the full breadth of options to make a fully informed decision.

XVII. ADJOURNMENT – Mayor Wilson adjourned the work session at 6:21 p.m.

APPROVED this the 23rd day of January 2024.

ATTEST:

APPROVED:

Rita Frick, City Secretary

Henry Wilson, Mayor

City Council Minutes
Tuesday, January 9, 2024

On the 9th day of January 2024, at 6:30 p.m., the City Council of the City of Hurst, Texas, convened in a regular meeting at City Hall, 1505 Precinct Line Road, Hurst, Texas, with the following members present:

Henry Wilson	)	Mayor
Gary N. Waldron	)	Mayor Pro Tem
Cathy Brotherton	)	Councilmembers
Cindy Shepard)	
Jon McKenzie)	
John Miller)	
Jimmy Meeks)	
Clay Caruthers	)	City Manager
Matthew Boyle	)	City Attorney
Malaika Marion Farmer	)	Assistant City Manager
Clayton Fulton	)	Assistant City Manager
Rita Frick	)	City Secretary
Michelle Lazo	)	Executive Director of Planning and Development
Chris Connolly	)	Executive Director of Economic Development
Greg Dickens	)	Executive Director of Public Works
Kyle Gordon	)	Executive Director of Community Services
Sunny Patel	)	Director of Information Technology

With the following Councilmembers absent: none, constituting a quorum; at which time, the following business was transacted:

The meeting was called to order at 6:30 p.m. and Councilmember John Miller gave the Invocation.

The Pledge of Allegiance and Texas Pledge were given.

CONSENT AGENDA

1. Consider approval of the minutes for the December 12, 2023 City Council meeting
2. Consider Ordinance 2554, second reading, to consider SITE-2023-00014, Lonesome Dove Sunroom, a site plan revision on Lot 8A, Block 4 Lonesome Dove Office Park Addition, being .54 acre located at 761 Lonesome Dove Trail
3. Consider Ordinance 2555, second reading, to consider SITE-2023-00018 Noctis Liquor & Spirits, a Special Use Permit for packaged alcohol sales on a portion of Lot 2, Block 3 Woodbridge Plaza Addition, being 2.81 acres located at 420 Grapevine Highway

4. Consider Ordinance 2556, second reading, amending Chapter 27 of the Hurst Code of Ordinances to require a Specific Use Permit for all convenience stores and CBD retail stores before issuing a Certificate of Occupancy
5. Consider authorizing the Cotton Belt Trail Bridge repair project
6. Consider authorizing the city manager to enter into an agreement with Ford AV to install a new AV system in the Council Chamber
7. Consider authorizing the city manager to enter into a 3-year agreement with ESRI for Enterprise Licensing
8. Consider authorizing the city manager to enter into an agreement with Ring Central and other vendors to implement and host a phone system for a minimum 5-year term

Councilmember Waldron moved to approve the consent agenda. Motion seconded by Councilmember Miller. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron, Miller, and Meeks
No: None

PUBLIC HEARING AND RELATED ITEM(S)

9. Conduct a public hearing and consider Ordinance 2557, first reading, to consider SITE-2023-00010 Quick Quack Car Wash, a site plan for Lot 7A, Block 1 Olde Towne Square Addition, being 1.06 acres located at 701 Airport Freeway (Continued from the December 12, 2023 Council Meeting)

Mayor Wilson announced the public hearing to consider Ordinance 2557, first reading, to consider SITE-2023-00010 Quick Quack Car Wash, a site plan for Lot 7A, Block 1 Olde Towne Square, being 1.06 acres located at 701 Airport Freeway and recognized Executive Director of Planning and Development Michelle Lazo who reviewed the proposed site plan. Ms. Lazo stated the applicant is requesting to construct a 3,300 square foot car wash with a dual lane self-service pay kiosk and 16 vacuum kiosks. She reviewed ingress and egress, landscaping, elevation and signage. In response to Council questions, Ms. Lazo stated the drive nearest the access road is in-line with McDonalds. She stated the que for the carwash is to go south, and if there are any traffic issues they will add signage as necessary. Applicant, Russell Nelson, Springfield, Utah stated their company is new to Hurst, but they have many carwashes in Texas. He stated their winter operating hours are 7:00 a.m. to 7:00 p.m. and summer hours are 7:00 a.m. to 9:00 p.m.

There being no one else to speak, Mayor Wilson closed the public hearing.

Councilmember McKenzie moved to approve Ordinance 2557, first reading, a site plan approval for Quick Quack Car Wash. Motion seconded by Councilmember Brotherton. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron, Miller, and Meeks
No: None

10. Conduct a public hearing and consider Ordinance 2558, first reading, to consider SITE-2023-00017 Monkey Mouths Pediatric Therapy, a site plan revision for Lot 13 and 14, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 Bentrige Road

Mayor Wilson announced the public hearing to consider Ordinance 2558, first reading, to consider SITE-2023-00017 Monkey Mouths Pediatric Therapy, a site plan revision for Lot 13 and 14, Block 1 Precinct Ridge Office Park Addition and recognized Executive Director of Planning and Development Michelle Lazo who reviewed the proposed site plan revision to combine two lots on Bentrige for a new Monkey Mouths Pediatric Therapy office with 10,189 square feet. Ms. Lazo reviewed landscape, building elevation and signage.

There being no one to speak, Mayor Wilson closed the public hearing.

Councilmember Miller moved to approve Ordinance 2558, first reading, a site plan revision for Monkey Mouths Pediatric Therapy. Motion seconded by Councilmember Shepard. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron, Miller, and Meeks
No: None

11. Conduct a public hearing to receive public input for the FY 2024-50th year Community Development Block Grant (CDBG) Program

Mayor Wilson announced the public hearing to receive public input for the FY 2024-50th year Community Development Block Grant (CDBG) Program and recognized Executive Director of Public Works Greg Dickens who reviewed the requirements to receive H.U.D funding in 2024 for projects designed to upgrade low to moderate-income neighborhoods in the Community Development Block Grant (CDBG) area. He stated the hearing tonight is to seek public input regarding projects eligible for the grant and if there is no input from the public, the city will offer a program.

There being no one to speak, Mayor Wilson closed the public hearing.

PLAT(S)

12. Consider P-2023-00007 Precinct Ridge Office Park Addition, a replat of Lots 13 and 14 to Lot 13R, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 Bentrige Drive

Executive Director of Planning and Development Michelle Lazo reviewed the proposed plat to support the Monkey Mouths Pediatric Therapy site plan revision discussed earlier this

evening.

Councilmember Miller moved to approve P-2023-00007 Precinct Ridge Office Park. Motion seconded by Councilmember Waldron. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron, Miller, and Meeks

No: None

RESOLUTION(S)

13. Consider Resolution 1852 calling the May 4, 2024 General Election of Officers

Councilmember Brotherton moved to approve Resolution 1852 calling the May 4, 2024 General Election of Officers. Motion seconded by Councilmember McKenzie. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron, Miller, and Meeks

No: None

OTHER BUSINESS

14. Consider authorizing a subscription to Placer AI for data analytics service pertaining to business placement, development, and infill

Executive Director of Economic Development Chris Connolly reviewed the proposed subscription to Placer AI for data analytics noting the benefits of a comprehensive look at markets to help target best use for empty retail space based on data collected.

Councilmember Shepard moved to authorize the subscription to Placer AI for data analytics service not to exceed \$26,000. Motion seconded by Councilmember Miller. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron, Miller, and Meeks

No: None

15. Consider authorizing the city manager to enter into an engineering services contract Amendment No. 2 with Freese and Nichols, Inc. for the Mary Drive 0.75 MG Elevated Storage Tank (EST) Project

Executive Director of Public Works Greg Dickens reviewed the proposed engineering contract Amendment No. 2 to modify plans and specifications to allow an alternate bid for a concrete pedestal composite elevated storage tank versus the base bid of a multi-leg steel elevated storage tank. He stated the cost of the additional engineering work is \$72,646.00 and funds are available.

Councilmember Brotherton moved to authorize the city manager to enter into an engineering services contract Amendment No. 2 with Freese and Nichols, Inc. for the Mary Drive 0.75 MG Elevated Storage Tank Project. Motion seconded by Councilmember McKenzie. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron, Miller, and Meeks

No: None

- 16. Review of upcoming calendar items – City Manager Clay Caruthers reviewed the future events calendar noting city offices will be closed Monday, January 15 for the Martin Luther King Jr. holiday.
- 17. City Council Reports - Items of Community Interest – None.

PUBLIC INVITED TO BE HEARD – A REQUEST TO APPEAR CARD MUST BE COMPLETED AND RETURNED TO THE CITY SECRETARY TO BE RECOGNIZED. CITIZEN COMMENTS ARE LIMITED TO A MAXIMUM OF 3 MINUTES PER SPEAKER

Mayor Wilson recognized UTA Students in attendance.

ADJOURNMENT – The meeting adjourned at 6:55 p.m.

APPROVED this the 23rd day of January 2024.

ATTEST:

APPROVED:

Rita Frick, City Secretary

Henry Wilson, Mayor



City Council Staff Report

SUBJECT: Consider Ordinance 2557, second reading, to consider SITE-2023-00010 (Quick Quack Car Wash) a site plan approval for Lot 7A, Block 1 Olde Towne Square Addition, being 1.06 acres located at 701 Airport Freeway

Supporting Documents:

Ordinance 2557
Area map
Legal notice
Ownership data
Site plan – “Exhibit A”
Landscape plan – “Exhibit “B”
Building elevation – “Exhibit C-D”
Sign elevations – “ Exhibit E-G”

Meeting Date: 1/23/2024
Department: Development
Reviewed by: Michelle Lazo
City Manager Review:

Background/Budget Analysis:

An application has been made by Danny Lange with Elevate Engineering, for a Site Plan on Lot 7A, Block 1 Olde Towne Square Addition, being 1.06 acres located at 701 Airport Freeway. The property is zoned GB-PD (General Business Planned Development).

The applicant is requesting the site plan in order to construct a new Quick Quack Car Wash with 3,300 square feet, a dual lane self-service pay kiosk, and 16 vacuum kiosks.

The development has access to a private shared access easement on the west and south side of the property.

The landscape plan will include 11 Chinese Pistache, five (5) Aristocrat Pears, two (2) Chaste trees, one Southern Magnolia, Glossy Abelia, Lantana, Texas Sage, Chinese Privet, Indian Hawthorn, and Lilyturf. This lot shares a shared access drive and median with McDonald’s. The developer has agreed to landscape, irrigate, and maintain the median to enhance the entrance from US 183.

The building elevation indicates a gray stucco and CMU building with yellow accents and a green standing seam roof with storefront glass along the car tunnel. The vacuum kiosk will have green metal shade canopies.

The applicant is requesting building signs on the east and west elevation with 96 sq. ft. and on the north and south elevation with 62 sq. ft. of sign area. The applicant is

also requesting a pole sign that will not exceed 20 ft. above the freeway grade with 60 sq. ft. of sign area per face.

Hurst Way/Strategic Priorities:

Council’s consideration of this item falls within the Strategic Priority of **Community** and **Economic Vitality**.

Recommendation:

Based on the Planning and Zoning Commission’s vote of 7-0, the recommendation is City Council **move to approve Ordinance 2557, second reading, a site plan approval for Quick Quack Car Wash.**

ORDINANCE 2557

AN ORDINANCE ADOPTING A SITE PLAN APPROVAL ON LOT 7A, BLOCK 1 OLDE TOWN SQUARE ADDITION, BEING 1.06 ACRES LOCATED AT 701 AIRPORT FREEWAY

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and

WHEREAS, the City Council is of the opinion that the site plan herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. **THAT** the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a Site Plan Revision with Exhibits "A - G" on Lot 7A, Block 1 Olde Towne Square Addition being 1.06 acres located at 701 Airport Freeway

AND IT IS SO ORDERED.

Passed on the first reading on the 9th day of January 2024 by a vote of 6 to 0.

Approved on the second reading on the 23rd day of January 2024 by a vote of _ to _.

ATTEST:

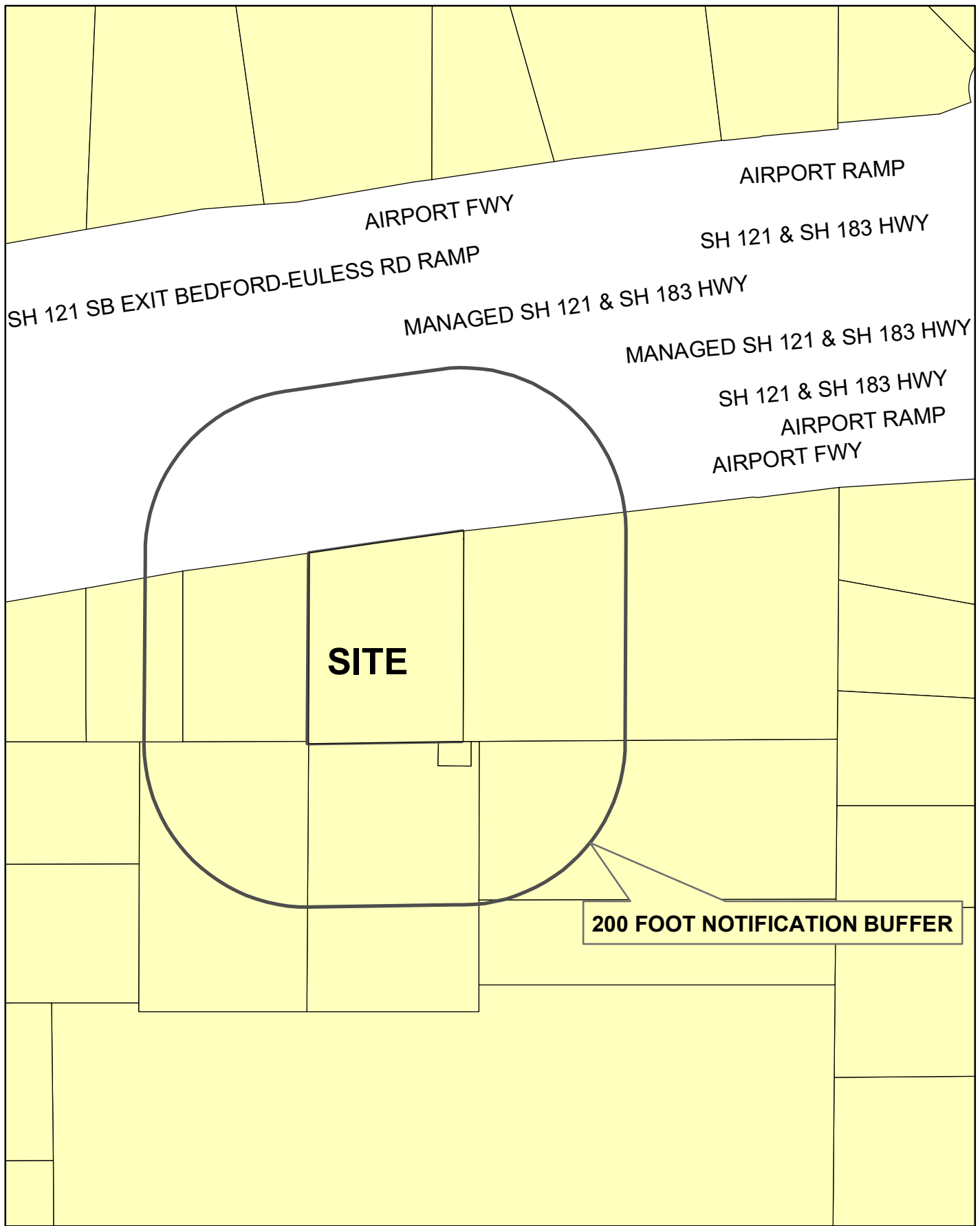
CITY OF HURST

Rita Frick, City Secretary

Henry Wilson, Mayor

Approved as to form and legality:

City Attorney



SITE-2023-00010 Quick Quack Car Wash	LEGAL DESCRIPTION: Lot 7A, Block 1 Olde Towne Square Addition	AGENDA DATE: 12/12/2023
REQUESTED ACTION: Site Plan Approval	LOCATION: 701 Airport Freeway	



SITE-2023-00010

LEGAL NOTICE

A PUBLIC HEARING WILL BE HELD BY THE HURST CITY COUNCIL ON TUESDAY, DECEMBER 12, 2023 AT 6:30 P.M. AT THE HURST CITY HALL AT 1505 PRECINCT LINE ROAD TO CONSIDER A SITE PLAN FOR LOT 7A, BLOCK 1 OLDE TOWNE SQUARE, BEING 1.06 ACRES LOCATED AT 701 AIRPORT FREEWAY

QUICK QUACK CAR WASH

Lot 7A, Block 1 Olde Towne Square Addition,
being 1.06 acre located at 701 Airport Freeway



SITE-2023-00010

**APPLICATION FOR SITE PLAN
OWNERSHIP DATA**

TO THE HURST PLANNING AND ZONING COMMISSION:

The following described real property is under application for approval of a zoning change with a site plan.

Quick Quack Car Wash
Site Plan Approval
Lot 7A, Block 1 Olde Towne Square
701 Airport Freeway

The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a zoning change with a site plan:

PROPERTY OWNER	LEGAL DESCRIPTION	ADDRESS
AVAM PROPERTIES LLC	BLK 1, LOT 9B OLDE TOWN SQUARE ADDITION	506 DOMINION DR EULESS, TX 76.39
LSCM INVESTMENTS LLC	BLK 1A, LOT 5C OLDE TOWN SQUARE ADDITION	844 MOORSIDE DR STE 2 GLENDALE, CA 91207
C D T LTD	BLK 1, LOT 9A OLDE TOWN SQUARE ADDITION	PO BOX 2050 FORT WORTH, TX 76113
HRE WILLOWCREEK LLC	BLK 1, LOT 10R OLDE TOWN SQUARE ADDITION	2280 HIGHLAND VILLAGE RD HIGHLAND VILLAGE TX 75077
VAQUERO HURST PARTNERS LP	BLK 1, LOT 7A OLDE TOWN SQUARE ADDITION	2900 WINGATE ST STE 200 FORT WORTH, TX 76107
ARCHLAND PROPERTY 11 LP	BLK 1, LOT 6A OLDE TOWN SQUARE ADDITION	PO BOX 1703 COLLEYVILLE, TX 76034
LCDM INVESTMENTS LLC	BLK 1, LOT 15 OLD TOWNE SQUARE ADDITION	844 MOORSIDE DR STE 2 GLENDALE, CA 91207
GREGG, ANNA	BLK 1, LOT 8 OLDE TOWN SQUARE ADDITION	4208 WINDSOR PKWY DALLAS, TX 75205
MCDONALDS REAL ESTATE CO	BLK 1, LOT 4A OLDE TOWN SQUARE ADDITION	PO BOX 182571 COLUMBUS, OH 43218
OCCUPANT	BLK 1, LOT 9B OLDE TOWN SQUARE ADDITION	705 AIRPORT FWY HURST, TX 76053
OCCUPANT	BLK 1A, LOT 5C OLDE TOWN SQUARE ADDITION	689 AIRPORT FWAY HURST, TX 76053

OCCUPANT	BLK 1, LOT 9A OLDE TOWN SQUARE ADDITION	705 AIRPORT FWY HURST, TX 76053
OCCUPANT	BLK 1, LOT 10R OLDE TOWN SQUARE ADDITION	669 AIRPORT FWY HURST, TX 76053
OCCUPANT	BLK 1, LOT 7A OLDE TOWN SQUARE ADDITION	701 AIRPORT FWY HURST, TX 76053
OCCUPANT	BLK 1, LOT 6A OLDE TOWN SQUARE ADDITION	769 AIRPORT FWY HURST, TX 76053
OCCUPANT	BLK 1, LOT 8 OLDE TOWN SQUARE ADDITION	725 AIRPORT FWY HURST, TX 76053
OCCUPANT	BLK 1A, LOT 5C OLDE TOWN SQUARE ADDITON	773 AIRPORT FWY HURST, TX 76053

EXHIBIT A

PROJECT ENGINEER:
 LARVIN POLLOCK
 ELEVATE ENGINEERING
 2208 WEST 700 SOUTH
 SPRINGVILLE, UT 84663
 (801) 718-5993
 LARVIN@ELEVATENG.COM

LEGEND

LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	=====
PROPOSED CURB AND GUTTER	=====
STRIPING	=====
BUILDING SETBACK	-----
LANDSCAPE SETBACK	-----
EXISTING BUILDING	-----
EXISTING FENCE	-x-
TOP BACK OF CURB	TBC
FINISHED FLOOR ELEVATION	FFE
LANDSCAPE AREA	[Pattern]
CONCRETE AREA	[Pattern]
VACUUM CANOPY	[Pattern]

SITE DATA

PROPOSED LOT AREA:	46,260	SF (1.06 ACRES)
BUILDING AREA:	3,330	SF ± 7.2%
PAVEMENT AREA:	33,249	SF ± 71.9%
LANDSCAPE AREA:	9,681	SF ± 20.9%

ZONING: GB (GENERAL BUSINESS DISTRICT)
 PERMITTED USE
 PARCEL ID#: 02074133

BUILDING DATA

CONSTRUCTION TYPE: V-B
 SPRINKLERS: NO
 SETBACKS:
 FRONT= 35 FEET
 REAR= 0 FEET
 SIDE= 0 FEET

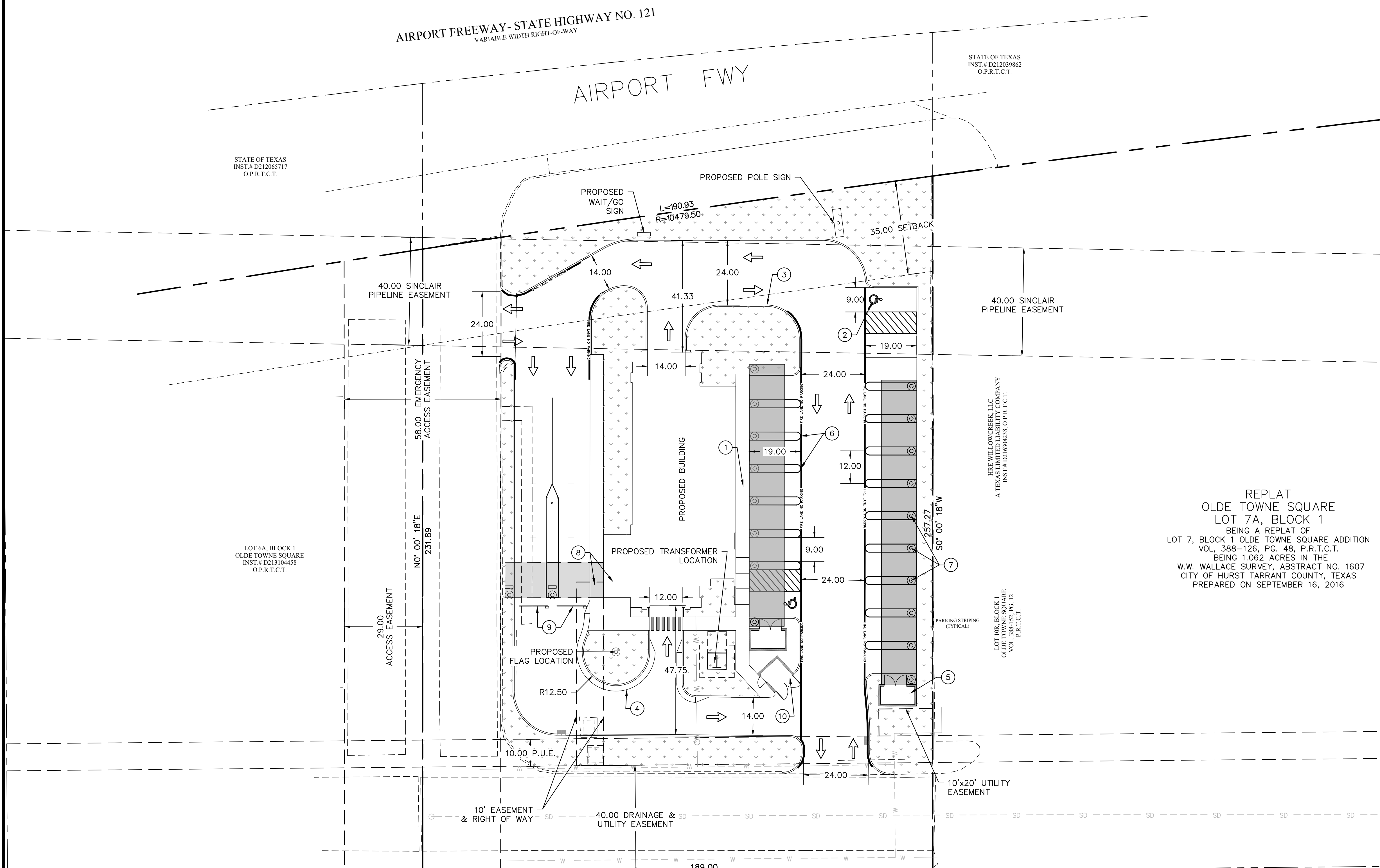
PARKING TABULATION

REQUIRED: 1 PARKING SPACE REQUIRED FOR EACH 125 SQUARE FEET OF FLOOR AREA. PLUS, ONE PARKING SPACE PER 1,000 SQ. FT. OF SITE EXCLUSIVE OF BUILDING AND PARKING.

PROVIDED: 3 STALLS
 1 ADA STALLS

VACUUM STALLS: 16 STALLS
 TUNNEL LENGTH: 94 FEET
 STACKING: 8 STALLS

- NOTES:**
- PROPOSED 5' SIDEWALK PER APWA #209. SEE SHEET C-5 FOR DETAILS.
 - ALL HANDICAP STALLS AND RAMPS TO BE INSTALLED PER APWA. SEE SHEET C-5 FOR DETAILS.
 - PROPOSED CURB & GUTTER TYPE E PER APWA #205.2. SEE SHEET C-5 FOR DETAILS.
 - PROPOSED CURB PER CURB AND GUTTER TRANSITION. SEE SHEET C-5 FOR DETAILS.
 - CONSTRUCT VACUUM ENCLOSURE WITH CONCRETE PAD AND APRON. INSTALL OWNER PROVIDED VACUUM EQUIPMENT, UNDERGROUND TRUNK LINES, PIPING, ETC. COORDINATE WITH ARCHITECTURAL PLANS.
 - PAINT 4" SOLID YELLOW PAINT STRIPE AS SHOWN (TYPICAL).
 - INSTALL OWNER PROVIDED "TOMMY BALL" PLANTERS/GARBAGE RECEPTACLE (TYPICAL). COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILS.
 - INSTALL OWNER PROVIDED PAY STATIONS WITH CANOPY. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILS.
 - INSTALL OWNER PROVIDED GATES AND LOOP DETECTION SYSTEM. COORDINATE TIMING OF INSTALLATION PRIOR TO CONSTRUCTION OF PAVEMENT. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED DUMPSTER LOCATION. SEE SHEET C-5 FOR DETAILS.



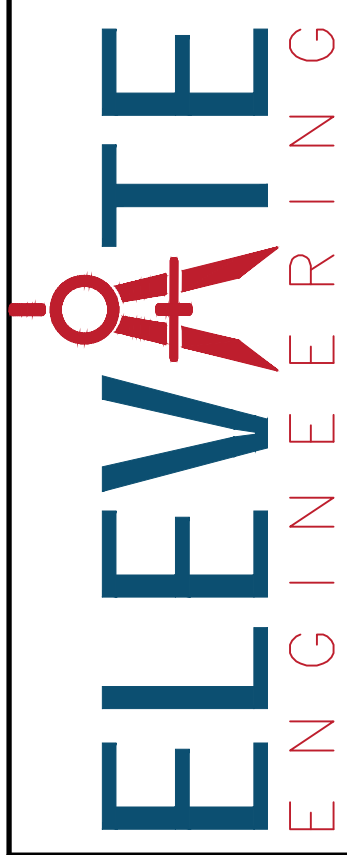
REPLAT
 OLDE TOWNE SQUARE
 LOT 7A, BLOCK 1
 BEING A REPLAT OF
 LOT 7, BLOCK 1 OLDE TOWNE SQUARE ADDITION
 VOL. 388-126, PG. 48, P.R.T.C.T.
 BEING 1.062 ACRES IN THE
 W.W. WALLACE SURVEY, ABSTRACT NO. 1607
 CITY OF HURST TARRANT COUNTY, TEXAS
 PREPARED ON SEPTEMBER 16, 2016



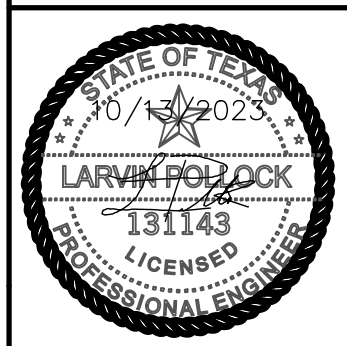
SCALE: 1" = 20'

NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING
 TBPE FIRM #20020
 2208 WEST 700 SOUTH
 SPRINGVILLE, UT 84663
 PHONE: (801) 718-5993
 larvin@elevateng.com



QUICK QUACK AIRPORT FWY
 SITE PLAN
 701 AIRPORT FWY, HURST, TX 76053



SHEET:
C-1
 DATE:
 Oct 13, 2023

REFERENCE NOTES SCHEDULE

SYMBOL	LANDSCAPE DESCRIPTION	QTY
1-01	PLANTING AREAS, STONE MULCH, SEE SPECIFICATIONS.	14,777 sf

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	11	<i>Pistacia chinensis</i>	Chinese Pistache	Container	1.5"	
	5	<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Callery Pear	Container	1.5"	
	2	<i>Vitex agnus-castus</i>	Chaste Tree	Container	1.5"	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	1	<i>Magnolia grandiflora</i> 'Southern Charm'	Teddy Bear® Southern Magnolia	8 & 8		6'
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	12	<i>Abelia x grandiflora</i> 'Kaleidoscope'	Kaleidoscope Glossy Abelia	5 gal		
	26	<i>Lantana camara</i>	Lantana	5 gal		
	23	<i>Leucophyllum frutescens</i> 'Berstar Dwarf'	Texas Sage	5 gal		
	31	<i>Ligustrum sinense</i> 'Sunshine'	Sunshine Chinese Privet	5 gal		
	25	<i>Rhaphiolepis indica</i>	Indian Hawthorn	5 gal		
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	36	<i>Liriope muscari</i>	Liriope	1 gal		

NOTE: MEET AND MAINTAIN ALL PLANT PRUNING AND TRIMMING CITY REQUIREMENTS.

HURST CITY LANDSCAPE REQUIREMENTS

STREET TREE REQUIREMENTS:

- (A) REQUIRED TREES, WITHIN THE LANDSCAPE SETBACK, ONE (1) LARGE TREE SHALL BE PLANTED PER FIFTY (50) FEET, OR FRACTION THEREOF, OF STREET FRONTAGE. EXISTING TREES SITUATED WITHIN THE LANDSCAPED EDGE MAY BE INCLUDED IN THIS CALCULATION. TWO (2) ORNAMENTAL TREES MAY BE SUBSTITUTED FOR A LARGE TREE.
- (B) THE TREES SHALL BE PLANTED SO AS NOT TO INTERFERE WITH EXISTING UTILITIES, ROADWAYS, SIDEWALKS, OR STREET LIGHTS.

ROAD FRONTAGE: 540/50 = 11 TREES PROVIDED.

PARKING LOT REQUIREMENTS:

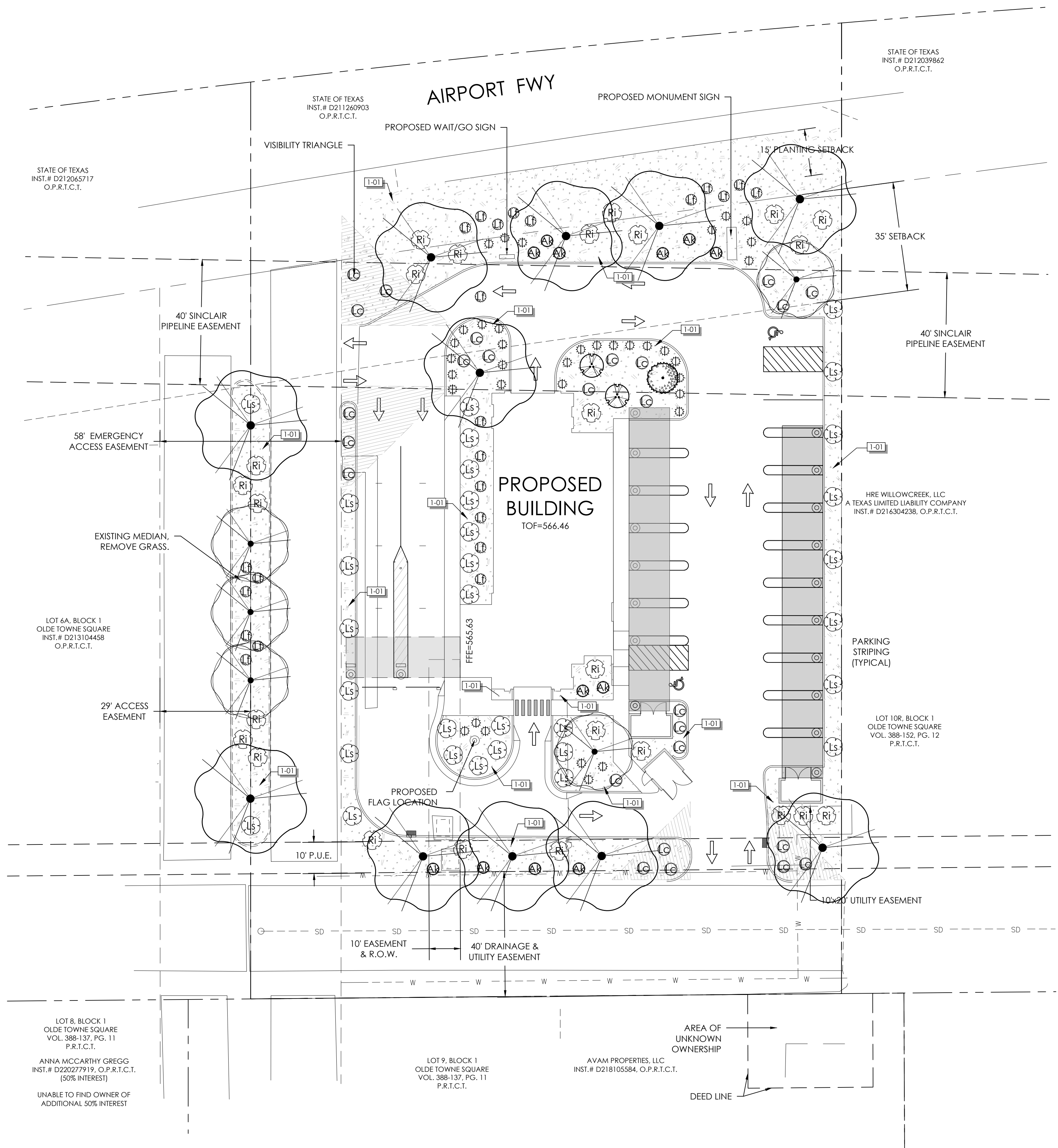
- (A) PARKING LOT TREE FORMULA: 1 LARGE TREE/2 SMALL TREES PER 20 PARKING STALLS. NO PARKING SPACE SHALL BE LOCATED MORE THAN ONE HUNDRED (100) FEET FROM A LARGE TREE WITHIN A LANDSCAPED ISLAND. 21 STALLS PROPOSED, 21/10 = 3 TREES REQUIRED, 3 TREES PROVIDED.

REQUIRED SHRUBS, TEN (10) SMALL SHRUBS, SHALL BE PLANTED PER FIFTY (50) LINEAR FEET, OR FRACTION THEREOF, OF STREET FRONTAGE. SHRUBS PLANTED FOR PARKING LOT SCREENING MAY BE USED TO SATISFY THIS REQUIREMENT. SHRUBS MAINTAINED AT A HEIGHT OF NO MORE THAN 36 INCHES NOR LESS THAN 18 INCHES. THE REQUIRED LANDSCAPE SETBACK LANDSCAPING SHALL NOT COUNT TOWARD PARKING LOT SCREENING OR PARKING AREA LANDSCAPING REQUIREMENTS.

SHRUBS REQUIRED: 540/50 = 10.8 X 10 = 108 SHRUBS REQUIRED. 153 SHRUBS PROVIDED.

GENERAL PLANTING STANDARDS:

- SEC. 27-21. (6) AN AREA NOT LESS THAN FIFTEEN (15) PERCENT OF THE TOTAL LOT AREA SHALL BE LANDSCAPED.
- (1) WHEN LOCATED IN THE VISIBILITY TRIANGLE, TREES SHALL BE HEADED TO A MINIMUM HEIGHT OF 7 FEET, AND SHRUBS SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 30 INCHES.
- (2) FOR STREETS WITH CURBS, TREES SHALL BE PLANTED AT LEAST THREE FEET FROM THE BACK OF THE EXISTING CURB.



ATTENTION: PRIOR TO PERFORMING ANY WORK ON THIS PLAN CONTRACTOR SHALL IDENTIFY THROUGH BLUESTAKES AND ON-SITE OBSERVATION ANY AND ALL UTILITIES AND HAZARDS OR CONDITIONS THAT MAY PREVENT WORK FROM BEING PERFORMED ACCORDING TO THESE PLANS ABOVE OR BELOW GROUND. IF CONDITIONS ARE FOUND THAT MAY PREVENT WORK FROM BEING PERFORMED AS PER PLAN, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. ANY DAMAGE TO UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY (I.E. ELECTRICAL, GAS, WATER SEWER, ETC.). EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITH THESE DRAWINGS, QUANTITIES (IF AND IF) LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND QUANTITIES ON THESE PLANS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN QUANTITIES LISTED IN LEGENDS AND PLAN. WHERE DISCREPANCIES EXIST BETWEEN SPECIFICATIONS, DETAILS, AND/OR DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT DRAWINGS ARE CONSISTENT WITH SURVEYED BASE INFORMATION. DURING CONSTRUCTION IF DISCREPANCIES ARE FOUND BETWEEN THESE PLANS AND THE SITE, CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.



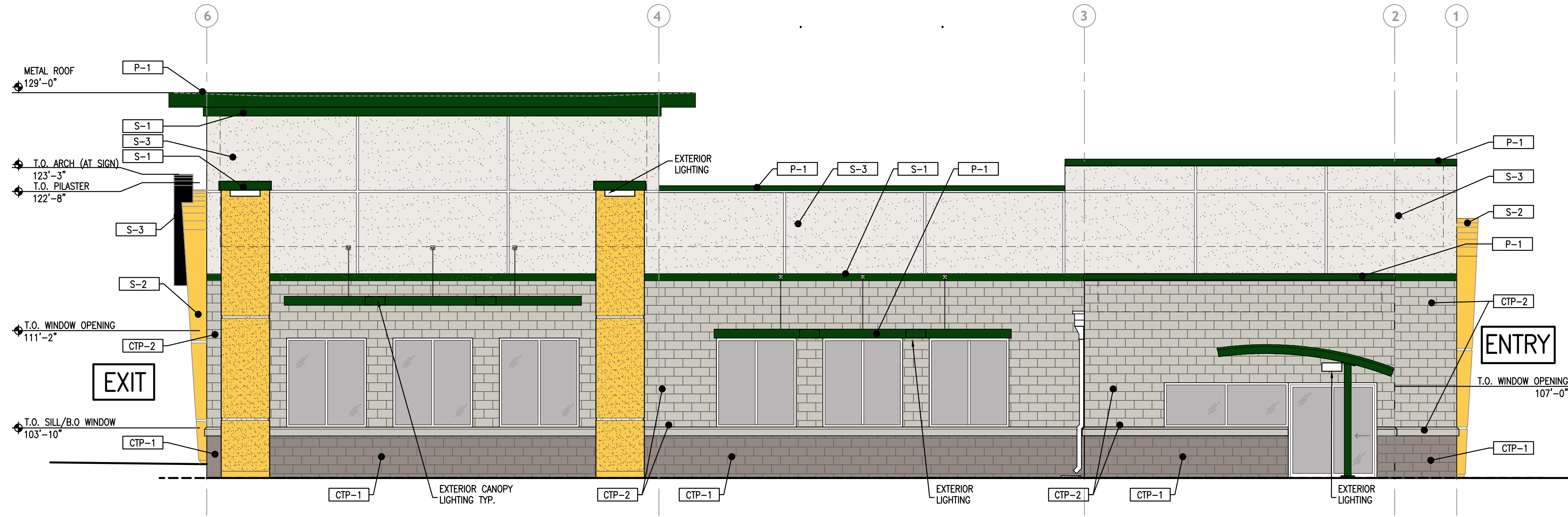
ENG/ARCH: ELEVATE
DRAWN BY: AJH
REVIEWED BY: RAB

DATE: 12 Oct 2023

LANDSCAPE PLAN

L1

EXHIBIT C



SIDE ELEVATION 1
3/16"=1'-0"

KEY NOTES:

- TOP OF EXTERIOR WALL MOUNTED LIGHT AT 21'-0" A.F.F. AT TOWER PILASTERS, TYP.
- EXTERIOR WALL MOUNTED LIGHT INSIDE CANOPY, TYP.
- SCORE LINES IN EIFS TO BE 3/4" DEEP, TYP.
- ONE PIECE THRU WALL OVERFLOW SCUPPER.
- 2" REVEAL. ALIGN HORIZ. W/ PHYSICAL BREAK IN EXTERIOR WALL. RE: 7/A3.4
- not used
- PILASTER ABOVE ROOF SHALL TERMINATE 1'-0" ABOVE ROOF LINE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE. RE: ELECTRICAL DRAWINGS.
- not used
- ONE PIECE THRU-WALL SCUPPER W/ COLLECTION BOX AND DOWNSPOUT.

FINISH SCHEDULE

ITEM	ITEM
PAINT	
P-1	SW 00 GREEN (GREEN)
P-2	SW 6902 DECISIVE YELLOW (YELLOW)
P-3	SW 7004 SNOWBOUND (WHITE)
P-4	SW 7025 BACKDROP (DARK GRAY)
P-5	SOLID COLOR CONCRETE STAIN - BLACK
P-6	SW PAINT TO MATCH CMU-1 (DARK GRAY)
P-7	SW PAINT TO MATCH CMU-2 (LIGHT GRAY)

WALLS

CTP-1	INTEGRAL COLOR CONCRETE TILT UP PANEL "CHARCOAL" (DARK GRAY) SPLIT FACE CMU BLOCK PATTERN
CTP-2	INTEGRAL COLOR CONCRETE TILT UP PANEL "PEBBLE BEACH" (LIGHT GRAY) SMOOTH FACE CMU BLOCK PATTERN
CMU-2	INTEGRAL COLOR SMOOTH FACE CMU "PEBBLE BEACH" (LIGHT GRAY)
PVC-1	
S-1	EIFS - MATCH SW QQ GREEN
S-2	EIFS - MATCH SW 6902 DECISIVE YELLOW
S-3	EIFS - MATCH SW 7004 SNOWBOUND
WC-1	WHITE FRP

ROOF

M-1	STANDING SEAM ROOFING (DARK IVY)
-----	----------------------------------

* NOTE: REFER TO SHEET A0.4 FOR COMPLETE FINISH SCHEDULE

idstudio
6021 CAMPUS CIRCLE DRIVE EAST
IRVING, TEXAS 75039
TEL: 972.470.1288
WWW.IDSTUDIO.COM

CORPORATE:
Quick Quack Car Wash Holdings, LLC
6020 West Oaks Blvd Ste #300,
Rocklin, CA 95765
916-846-2100
www.dontdrivedirty.com

"NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION"
PREPARED BY OR UNDER THE AUTHORITY OF ARCHITECT PATRICK MCKECHNIE
11/29/2023

QUICK QUACK CAR WASH #71-031
701 Airport Freeway
Hurst, TX 76053
CLIENT: QQ-1-35, LLC
2208 W. 700 South
Springville, UT 84663

COLOR/FINISHES LEGEND

	FIRESTONE - DARK IVY SW QQ GREEN	P-1	S-1
	DECISIVE YELLOW SW 6902	P-2	S-2
	SNOWBOUND SW 7004	P-3	S-3
	BACKDROP (DARK GRAY) SW 7025	P-4	
	SPLIT FACE CTP (DARK) OLDCASTLE INTEGRAL COLOR "CHARCOAL" (OR SIMILAR)	CTP-1	
	SMOOTH CTP (LIGHT) OLDCASTLE INTEGRAL COLOR "PEBBLE BEACH" (OR SIMILAR)	CTP-2	



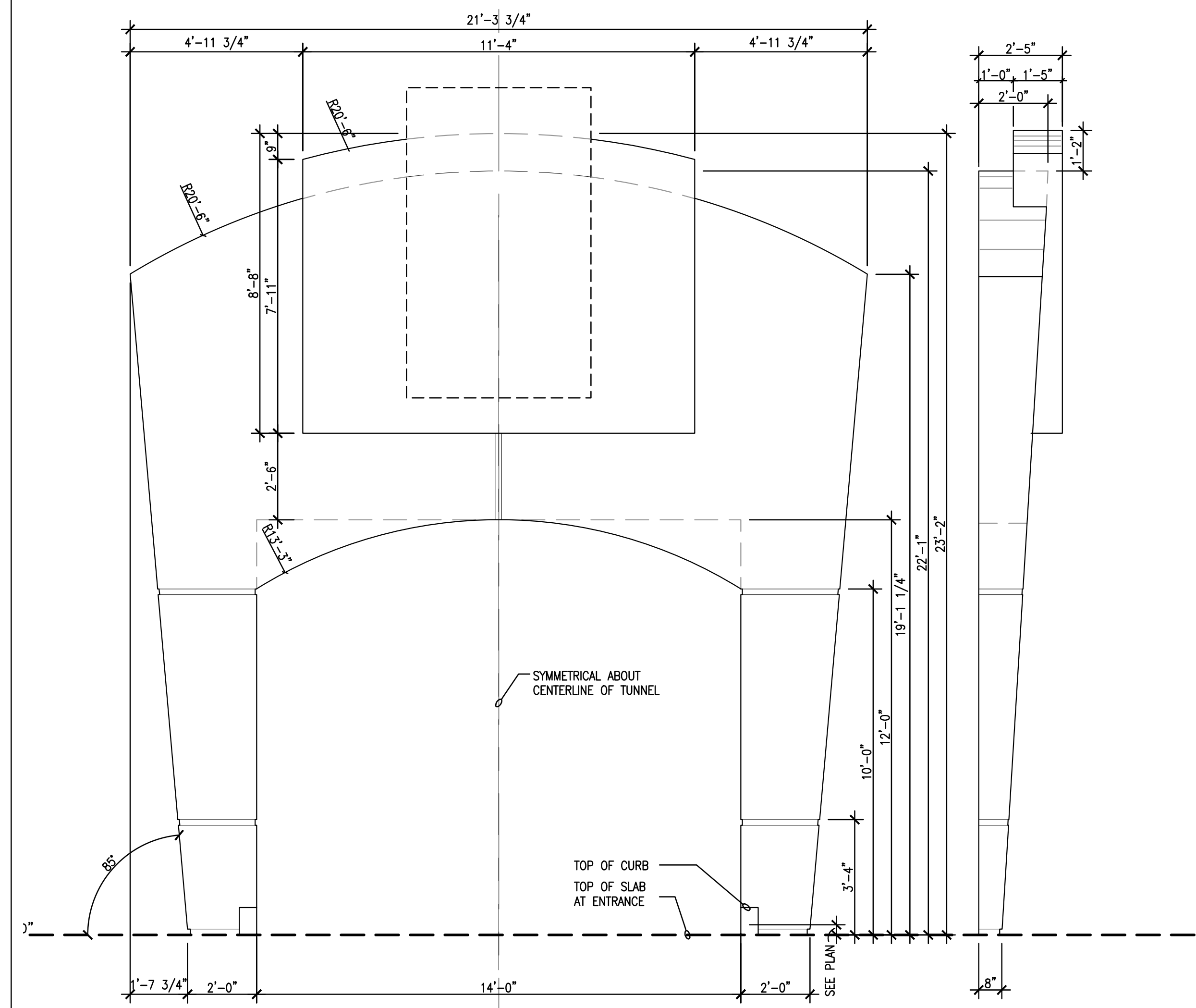
DATE	DESCRIPTION
11.29.2023	EXHIBITS

DATE	DESCRIPTION
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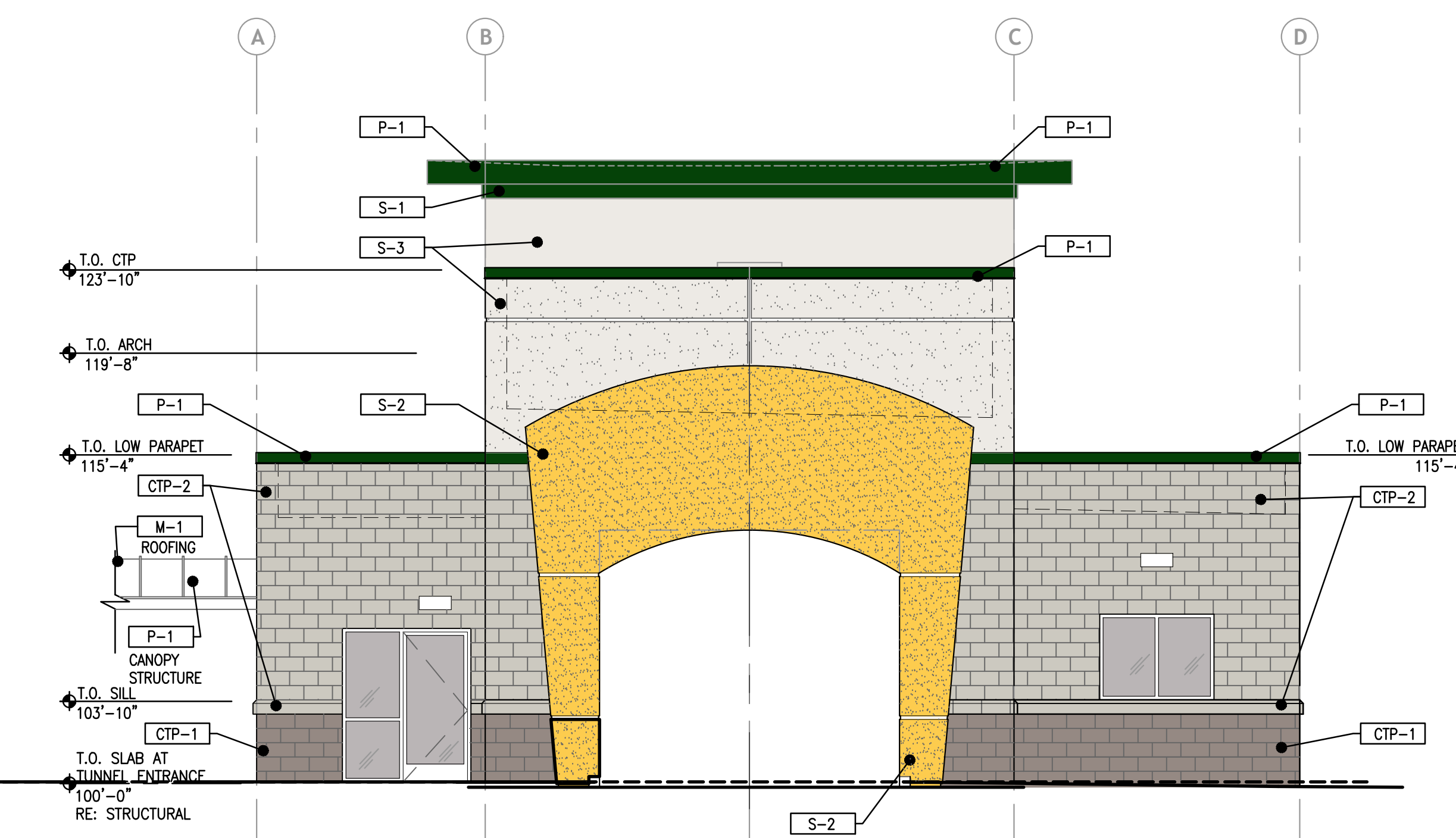
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EXTERIOR ELEVATIONS

SHEET NUMBER:
A2.0 EXH

PROJECT NUMBER:
QQW23029



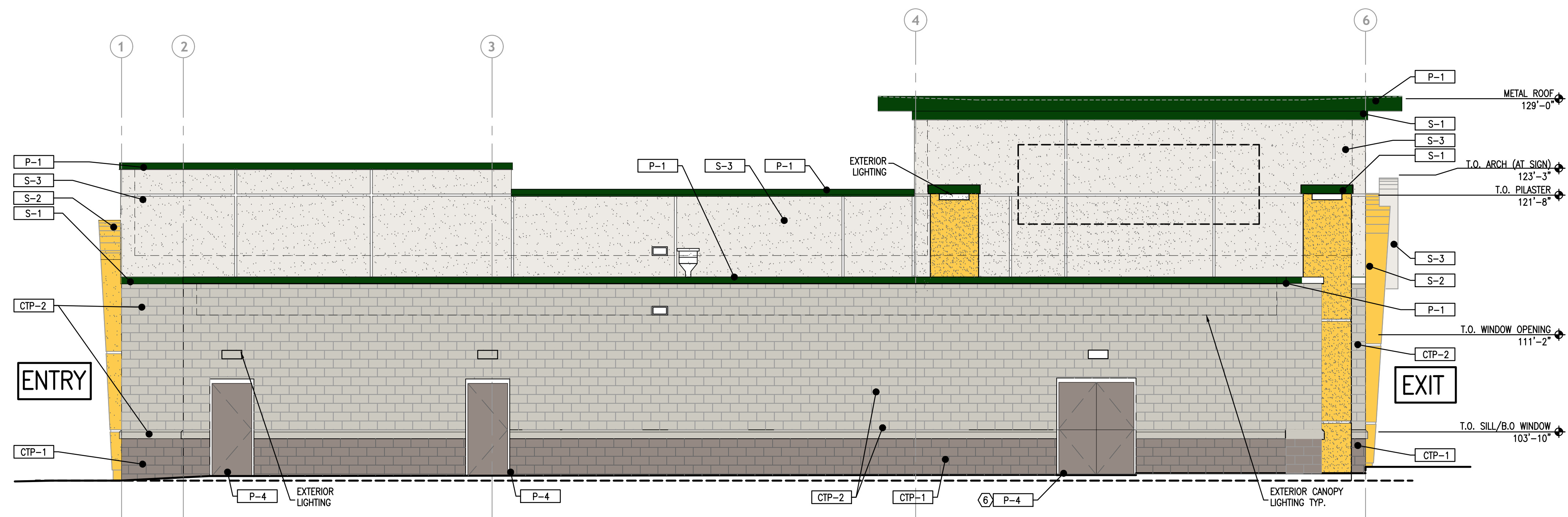
TUNNEL ARCH ENTRY ELEVATIONS
3/8"=1'-0"



TUNNEL ENTRY ELEVATION
3/16"=1'-0"

PROJECT NUMBER:
QQW23029

EXHIBIT D



SIDE ELEVATION 1
3/16"=1'-0"

KEY NOTES:

- TOP OF EXTERIOR WALL MOUNTED LIGHT AT 21'-0" A.F.F. AT TOWER PILASTERS, TYP.
- EXTERIOR WALL MOUNTED LIGHT INSIDE CANOPY, TYP.
- SCORE LINES IN EIFS TO BE 3/4" DEEP, TYP.
- ONE PIECE THRU WALL OVERFLOW SCUPPER.
- 2" REVEAL. ALIGN HORIZ. W/ PHYSICAL BREAK IN EXTERIOR WALL. RE: 7/A3.4
- not used
- PILASTER ABOVE ROOF SHALL TERMINATE 1'-0" ABOVE ROOF LINE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE. RE: ELECTRICAL DRAWINGS.
- not used
- ONE PIECE THRU-WALL SCUPPER W/ COLLECTION BOX AND DOWNSPOUT.

FINISH SCHEDULE

ITEM	ITEM
PAINT	
P-1	SW QO GREEN (GREEN)
P-2	SW 6902 DECISIVE YELLOW (YELLOW)
P-3	SW 7004 SNOWBOUND (WHITE)
P-4	SW 7025 BACKDROP (DARK GRAY)
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PVC	
PVC-1	PVC WALL PANELS
S-1	EIFS - MATCH SW QO GREEN
S-2	EIFS - MATCH SW 6902 DECISIVE YELLOW
S-3	EIFS - MATCH SW 7004 SNOWBOUND
WC-1	WHITE FRP

ROOF

M-1	STANDING SEAM ROOFING (DARK IVY)
-----	----------------------------------

* NOTE: REFER TO SHEET A0.4 FOR COMPLETE FINISH SCHEDULE

idstudio
6201 CAMPUS CIRCLE DRIVE EAST
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"NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION"
PREPARED BY OR UNDER THE AUTHORITY OF ARCHITECT
PATRICK MCKECHNIE
11/29/2023

QUICK QUACK CAR WASH #71-031
701 Airport Freeway
Hurst, TX 76053
CLIENT: QQ-1-35, LLC
2208 W. 700 South
Springville, UT 84663

COLOR/FINISHES LEGEND

	FIRESTONE - DARK IVY SW QO GREEN	P-1	S-1
	DECISIVE YELLOW SW 6902	P-2	S-2
	SNOWBOUND SW 7004	P-3	S-3
	BACKDROP (DARK GRAY) SW 7025	P-4	
	SPLIT FACE CTP (DARK) OLDCASTLE INTEGRAL COLOR "CHARCOAL" (OR SIMILAR)	CTP-1	
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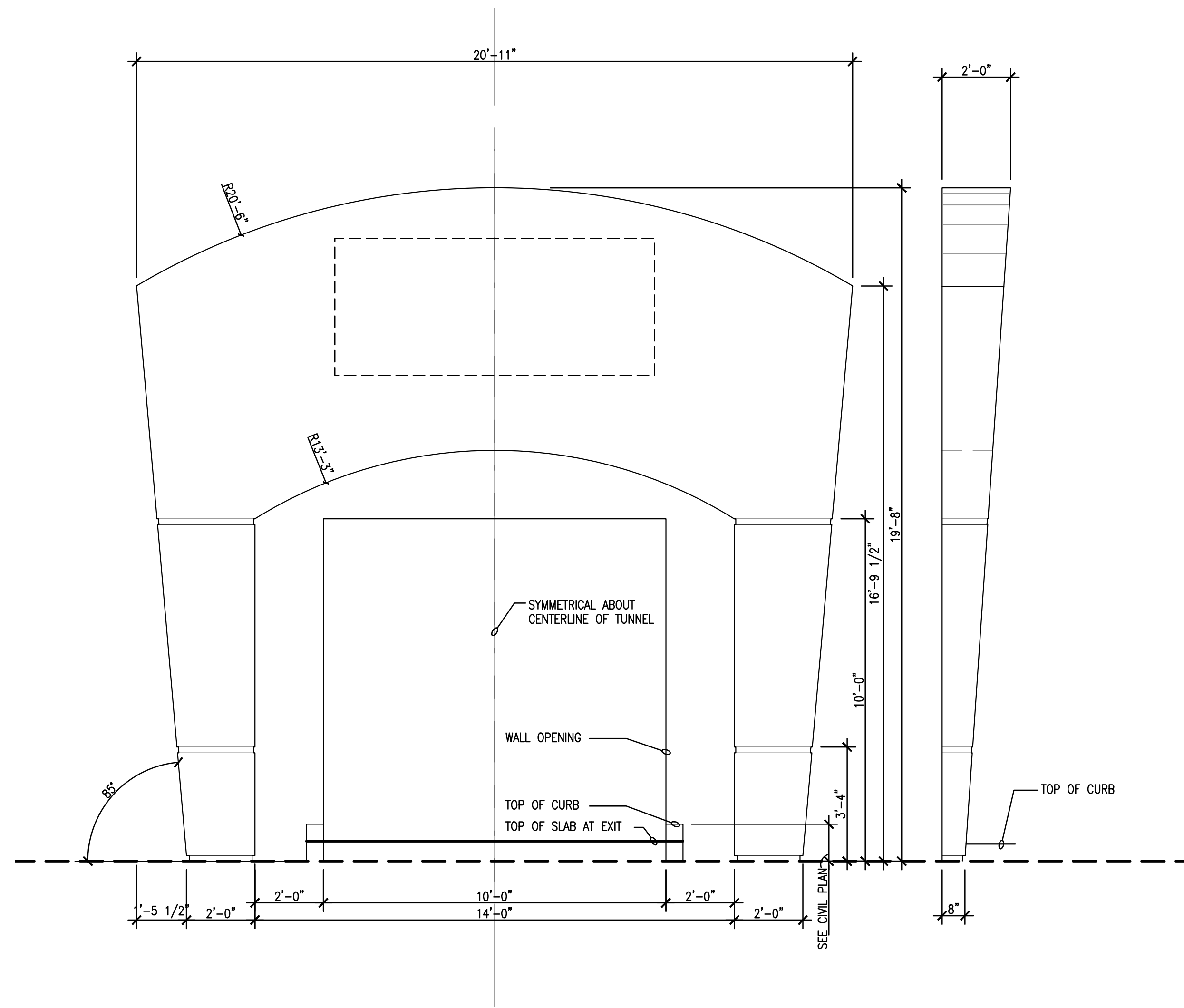
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11.29.2023	EXHIBITS

DATE	DESCRIPTION

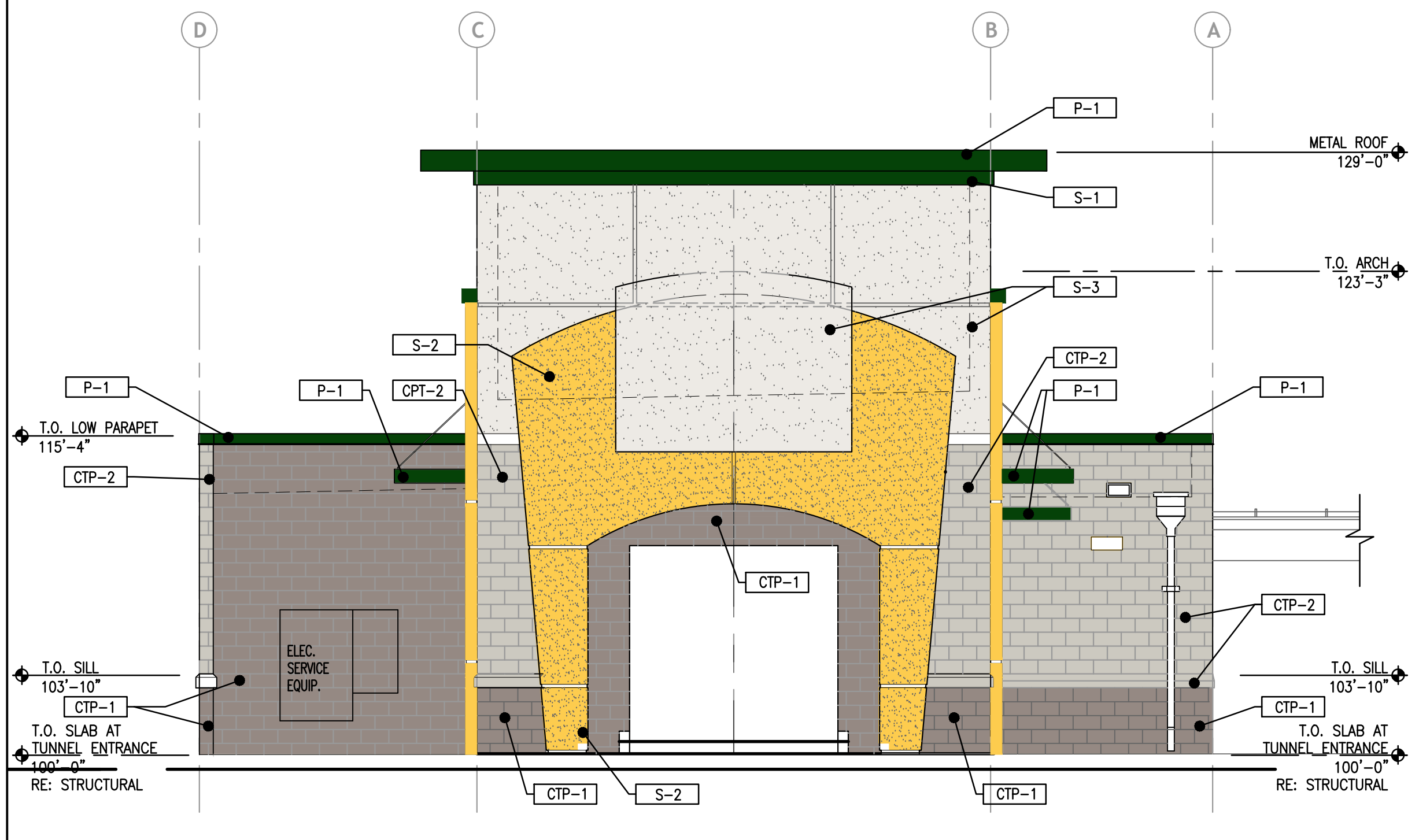
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EXTERIOR ELEVATIONS

SHEET NUMBER:
A2.1 EXH

PROJECT NUMBER:
QQW23029



TUNNEL ARCH EXIT ELEVATIONS
3/8"=1'-0"



TUNNEL EXIT ELEVATION
3/16"=1'-0"

PROJECT NUMBER:
QQW23029

PROJECT:
QUICKQUACK CAR WASH

ADDRESS:
701 AIRPORT FWY
HURST, TX 76053

DATE: 11/22/23

PROJECT NUMBER:
ES10149

DESIGNER:
RAMON

REVISIONS
R1: 00/00/00
DESIGN UPDATE
R2: 00/00/21
DESIGN UPDATE
R3: 00/00/21
DESIGN UPDATE

APPROVALS / DATE

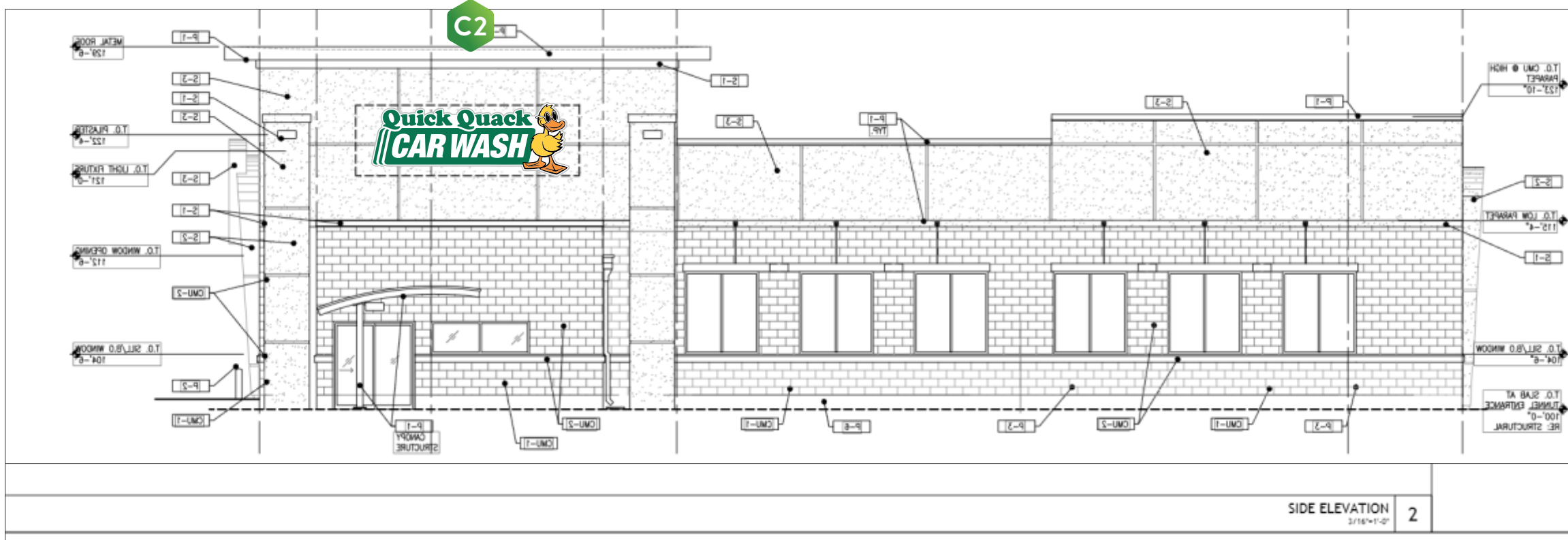
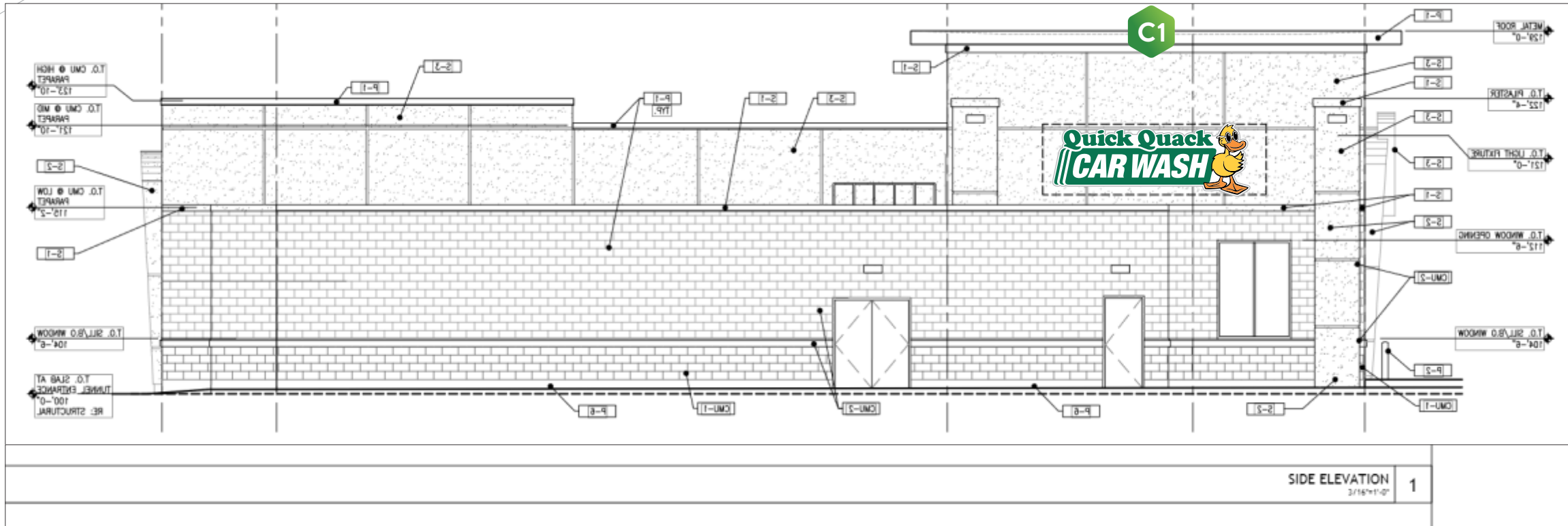
CLIENT:

LANDLORD:



Ⓢ Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electric code and other applicable local codes. This includes proper grounding and bonding of the sign.

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UPDATED ELEVATION
SCALE: 3/32" = 1' - 0"



EZZI SIGNS

EST. 2005

16611 West Little York Rd
Houston, Texas 77084

EZZISIGNS.COM
713-232-0071

PROJECT:
QUICKQUACK CAR WASH

ADDRESS:
701 AIRPORT FWY
HURST, TX 76053

DATE: 11/22/23

PROJECT NUMBER:
ES10149

DESIGNER:
RAMON

- REVISIONS**
- R1: 00/00/00
DESIGN UPDATE
 - R2: 00/00/21
DESIGN UPDATE
 - R3: 00/00/21
DESIGN UPDATE

APPROVALS / DATE

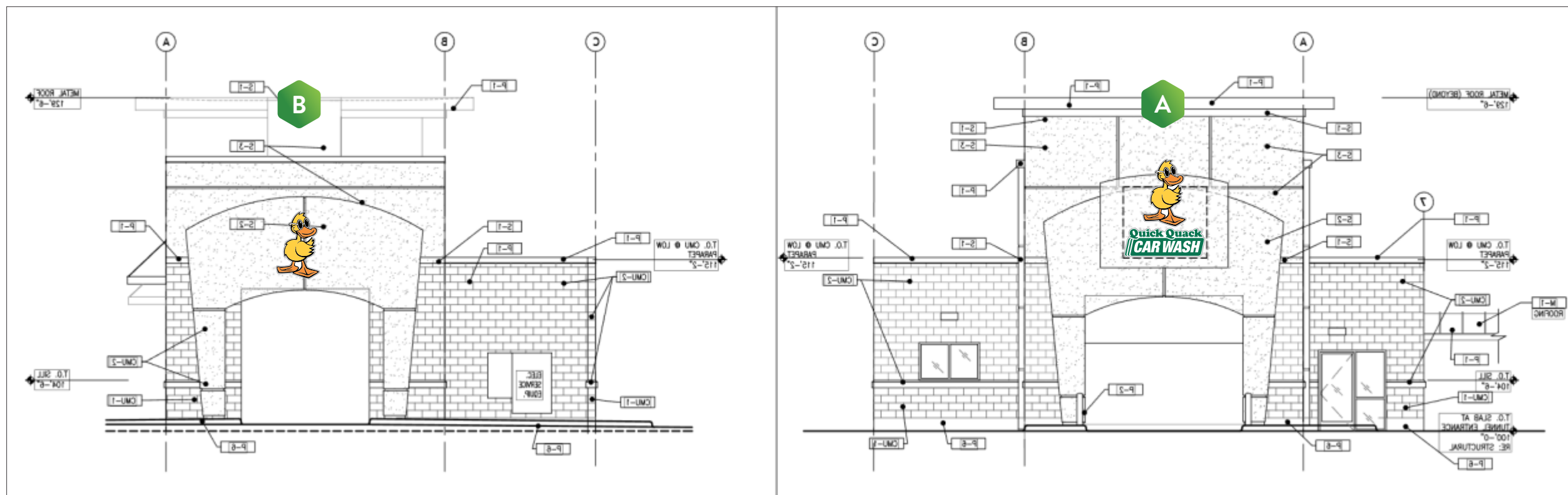
CLIENT:

LANDLORD:



Ⓛ Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electric code and other applicable local codes. This includes proper grounding and bonding of the sign.

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UPDATED ELEVATION

SCALE: 3/32" = 1' - 0"

D
 QTY: 1
 D/F PYLON

EZZI SIGNS
 EST. 2005

16611 West Little York Rd
 Houston, Texas 77084
EZZISIGNS.COM
 713-232-0071

PROJECT:
 QUICKQUACK CAR WASH

ADDRESS:
 701 AIRPORT FWY
 HURST, TX 76053

DATE: 11/22/23

PROJECT NUMBER:
 ES10149

DESIGNER:
 RAMON

REVISIONS
R1: 00/00/00
 DESIGN UPDATE
R2: 00/00/21
 DESIGN UPDATE
R3: 00/00/21
 DESIGN UPDATE

APPROVALS / DATE

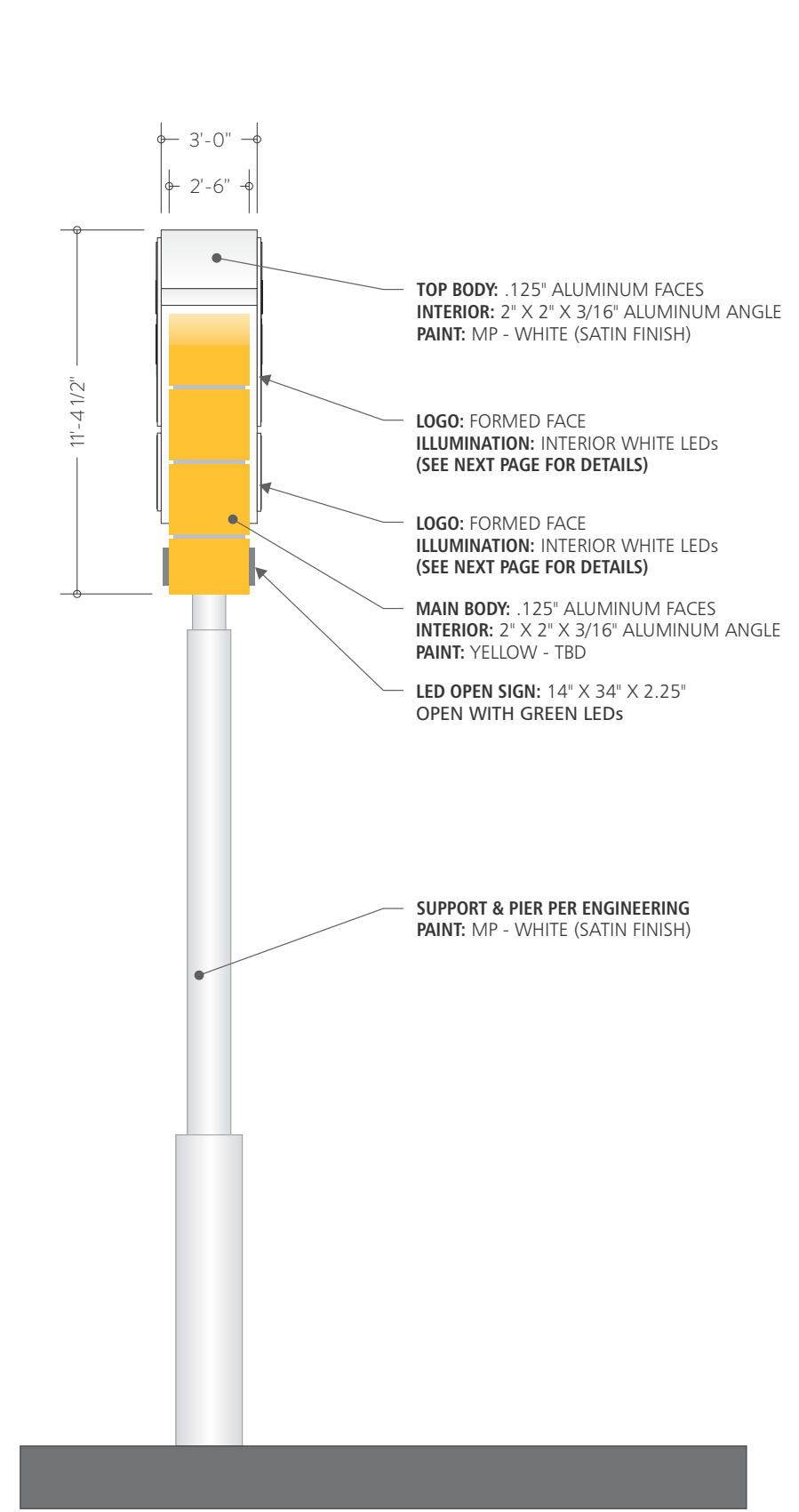
CLIENT:

LANDLORD:



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DESIGN
 SCALE: 3/16" = 1' - 0"



City Council Staff Report

SUBJECT: Consider Ordinance 2558, second reading, SITE-2023-00017 Monkey Mouths Pediatric Therapy, a site plan revision for Lots 13 and 14, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 Bentrige Drive.

Supporting Documents:	
Ordinance 2558 Area map Legal notice Ownership data Site plan/Monument sign - Exhibit "A" Landscape plan – Exhibit "B" Building/sign elevation – Exhibit "C-D"	Meeting Date: 1/23/2024 Department: Planning and Development Reviewed by: Michelle Lazo City Manager Review:

Background/Budget Analysis:

An application has been made by Fidelina Ramirez with Legacy ADPR for a Site Plan Revision for Lots 13 and 14, Block 1 Precinct Ridge Office Park Addition, being 1.49 acres located at 6156 and 6160 Bentrige Drive. The property is zoned GB-PD (General Business Planned Development). A replat for this property is also on the agenda.

The applicant is requesting the site plan revision in order to combine Lots 13 and 14 in order to construct a new Monkey Mouths Pediatric Therapy office with 10,189 square feet. The original site plan for Precinct Ridge Office Park was approved in 2007 with 14 lots for office/retail development. The development will share access to Bentrige Dr., Mid-Cities Boulevard, and Precinct Line Road.

Monkey Mouths owns the building on Lot 11 and is leasing two (2) more offices in the area. The owner will continue to use Lot 11 and discontinue the other lease spaces once the new building is completed.

The landscape plan will include eight (8) Chinese Pistache, five (5) Southern Live Oak, seven (7) Lacebark Elm, four (4) Shumard Oak, three (3) Texas Redbud, four (4) Crape Myrtle, Dwarf Yaupon Holly, Dwarf Wax Myrtle, Tam’s Juniper, Lilyturf, and Bermuda sod.

The building elevation indicates a red brick building with cement siding, cedar columns and a pitched standing seam metal roof. The building will have office windows with metal awnings around the structure.

The applicant is requesting a building sign on the front elevation and a monument sign on Bentrige Dr. that is seven (7) feet in height with 32 sq. ft. of sign area per face.

Hurst Way/Strategic Priorities:

Council's consideration of this item falls within the Strategic Priority of **Community and Economic Vitality**.

Recommendation:

Based upon the Planning and Zoning Commission vote of 6-0, the recommendation is City Council **move to approve Ordinance 2558, second reading, a Site Plan Revision for Monkey Mouths Pediatric Therapy**.

ORDINANCE 2558

AN ORDINANCE ADOPTING A SITE PLAN REVISION ON LOTS 13 AND 14, BLOCK 1 PRECINCT RIDGE OFFICE PARK ADDITION, BEING 1.49 ACRES LOCATED AT 6156 AND 6160 BENTRIDGE DRIVE

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and

WHEREAS, the City Council is of the opinion that the site plan herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. **THAT** the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a Site Plan Revision with Exhibits "A-D" on Lots 13 and 14, Block 1 Precinct Ridge Office Park Addition being 1.49 acres located at 6156 and 6160 Bentrige Drive.

AND IT IS SO ORDERED.

Passed on the first reading on the 9th day of January 2024 by a vote of 6 to 0.

Approved on the second reading on the 23rd day of January 2024 by a vote of _ to _.

ATTEST:

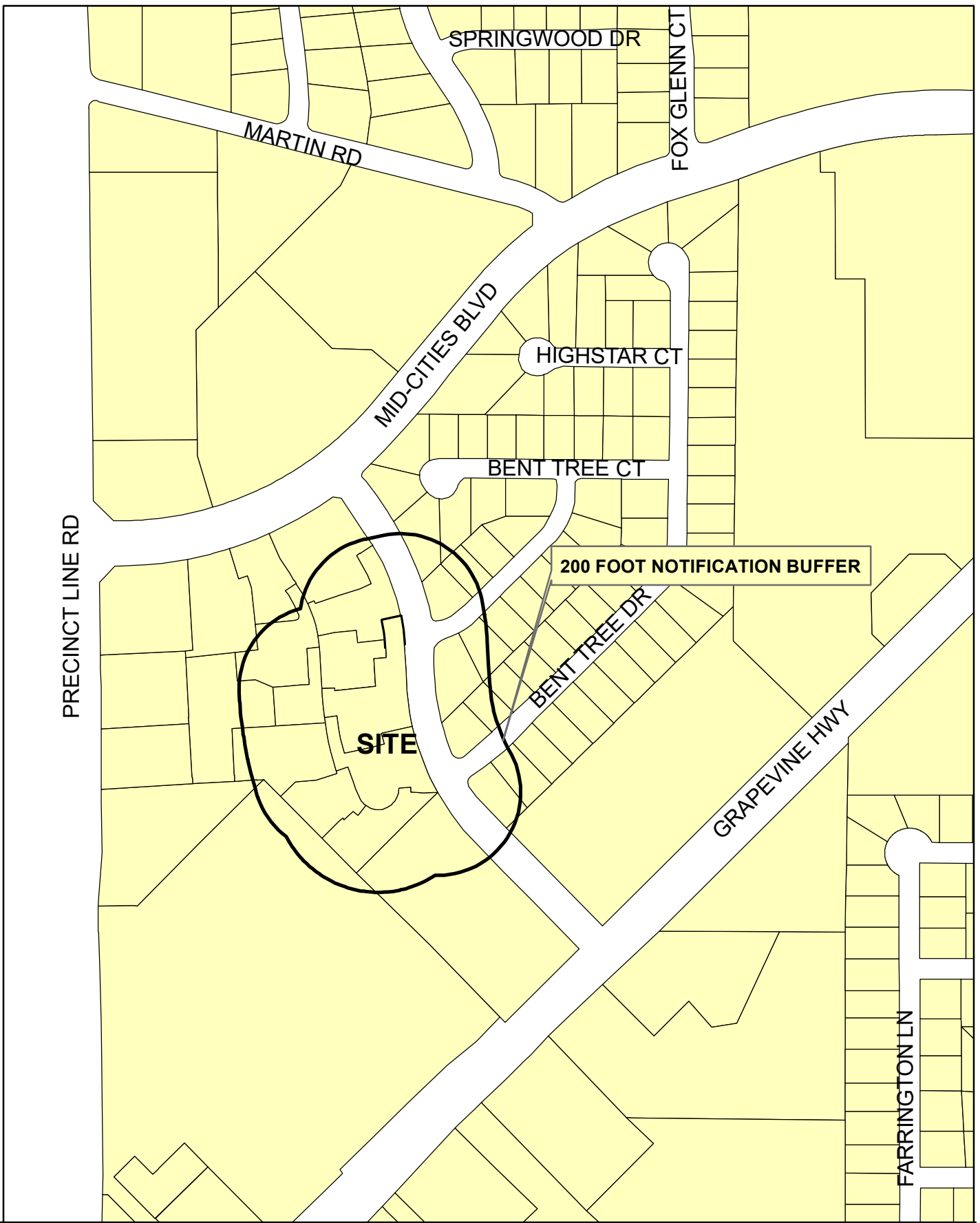
CITY OF HURST

Rita Frick, City Secretary

Henry Wilson, Mayor

Approved as to form and legality:

City Attorney



<p>CASE NO: SITE-2023-00017 Monkey Mouths Pediatric</p>	<p>LEGAL DESCRIPTION: Lot 13 & 14, Block 1 Precint Ridge Office Park</p>	<p>AGENDA DATE: 01/09/2024</p>
<p>REQUESTED ACTION: Site Plan Revision</p>	<p>LOCATION: 6156 & 6160 Bentrige Drive</p>	



SITE-2023-00017

LEGAL NOTICE

A PUBLIC HEARING WILL BE HELD BY THE HURST CITY COUNCIL ON TUESDAY, JANUARY 9, 2024 AT 6:30 P.M. AT THE HURST CITY HALL AT 1505 PRECINCT LINE ROAD TO CONSIDER A SITE PLAN REVISION FOR LOT 13 AND 14, BLOCK 1 PRECINCT RIDGE OFFICE PARK ADDITION, BEING 1.49 ACRES LOCATED AT 6156 & 6160 BENTRIDGE DRIVE

Monkey Mouths Pediatric Therapy

The applicant is requesting a site plan revision to combine Lots 13 and 14 to develop a pediatric speech therapy office with 10,189 square feet.



SITE-2023-00017

**APPLICATION FOR SITE PLAN
OWNERSHIP DATA**

TO THE HURST PLANNING AND ZONING COMMISSION:

The following described real property is under application for approval of a zoning change with a site plan.

Monkey Mouths Pediatric Therapy
Site Plan Revision
Lots 13 and 14, Block 1 Precinct Ridge Office Park Addition
6156 & 6160 Bentrige Drive

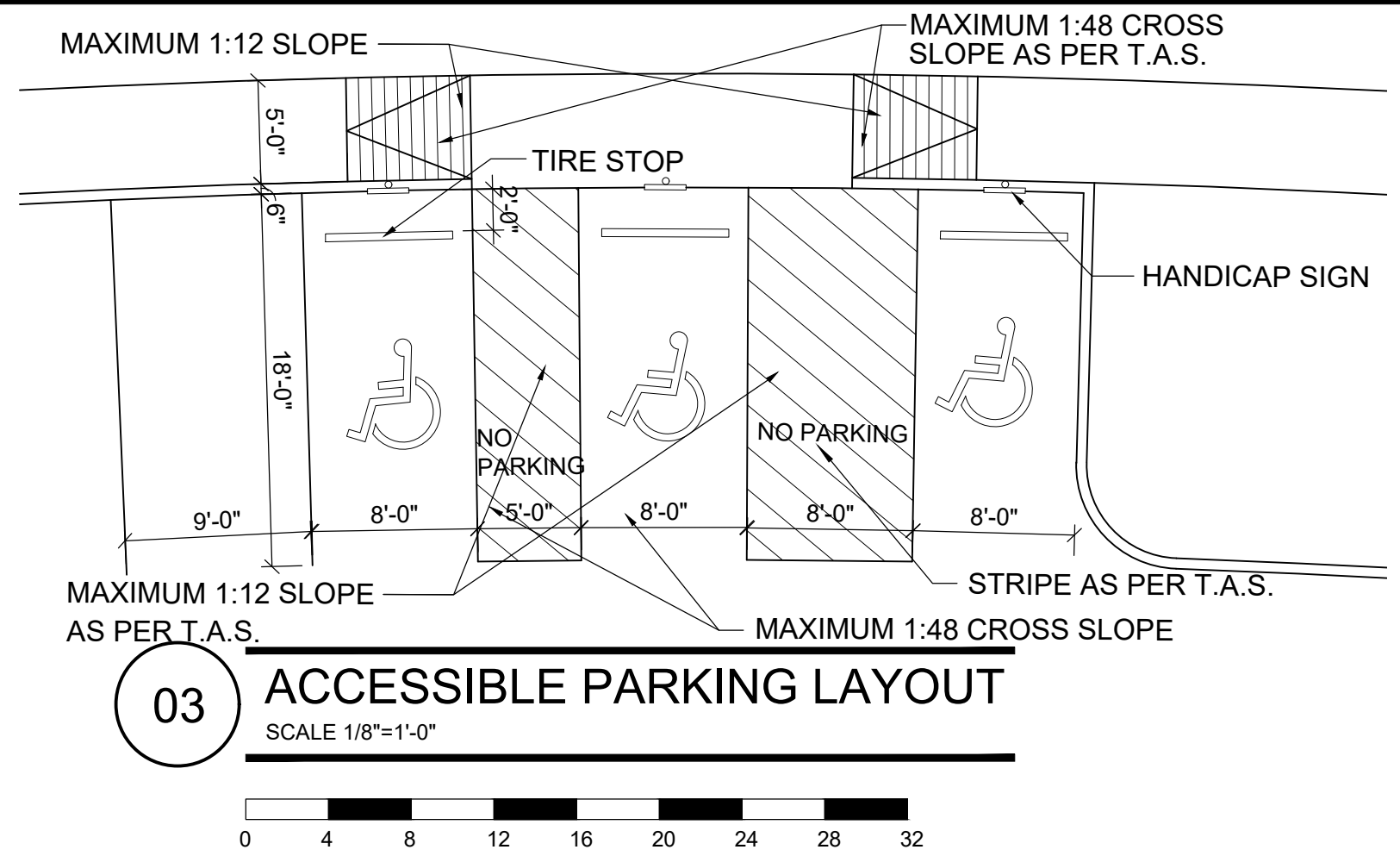
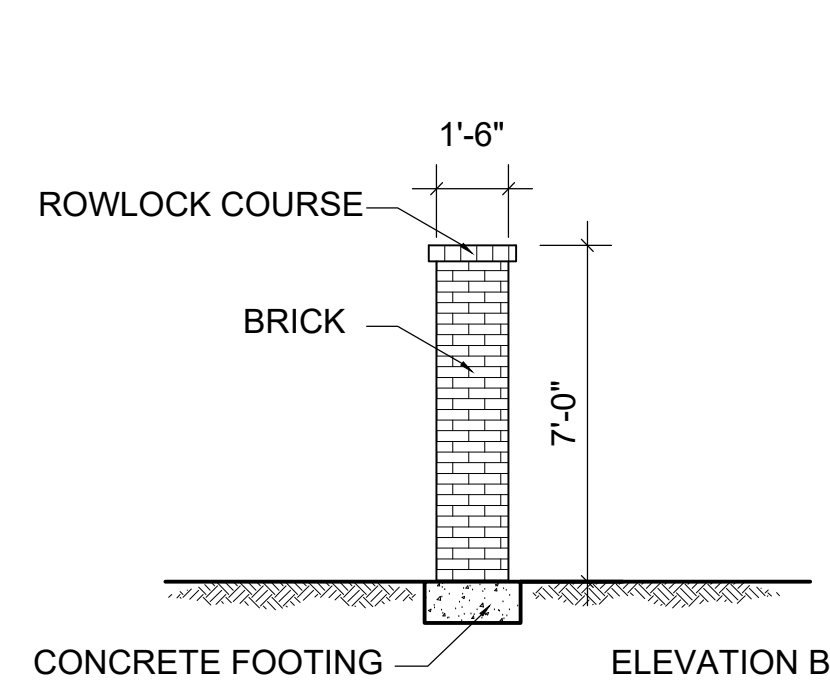
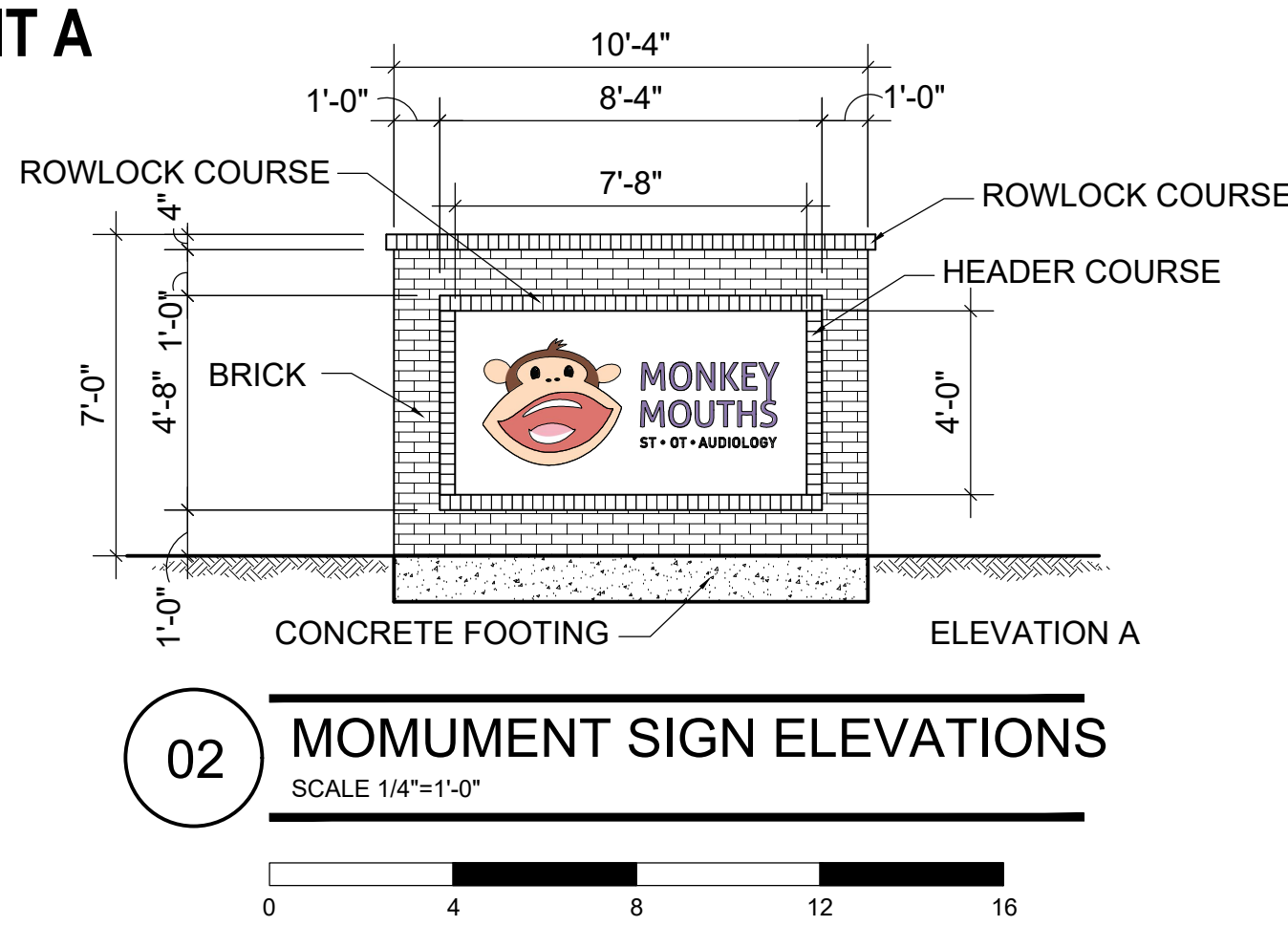
The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a zoning change with a site plan:

PROPERTY OWNER	LEGAL DESCRIPTION	ADDRESS
FALCONE, EDWARD	LOT 18, BLK 2 BENTRIDGE ESTATES ADDITION	2604 BRIARGROVE DR HURST, TX 76054
NGO, CHRISTINE TRINH	LOT 19, BLK 2 BENTRIDGE ESTATES ADDITION	2600 BRIARGROVE DR HURST, TX 76054
MCCULLOUGH, DIANA	LOT 2, BLK 3 BENTRIDGE ESTATES ADDITION	2605 N BRIARGROVE DR HURST, TX 76054
SAGE, KATHLEEN	LOT 1, BLK 3 BENTRIDGE ESTATES ADDITION	2601 BRIARGROVE DR HURST, TX 76054
MICELI, LESLIE A	LOT 7, BLK 3 BENTRIDGE ESTATES ADDITION	725 BENT TREE CT HURST, TX 76054
JOHNSON, MATTHEW	LOT 8, BLK 3 BENTRIDGE ESTATES ADDITION	729 BENT TREE CT HURST, TX 76054
OGBURN, PARKER	LOT 17, BLK 2 BENTRIDGE ESTATES ADDITION	2608 BRIARGROVE DR HURST, TX 76054
RAME, HERNAN	LOT 3, BLK 2 BENTRIDGE ESTATES ADDITION	2609 BENT TREE CT HURST, TX 76054
PIMENTEL, DAVID	LOT 2, BLK 2 BENTRIDGE ESTATES ADDITION	2605 BENT TREE DR HURST, TX 76054
NEWMAN, DAVID	LOT 1, BLK 2 BENTRIDGE ESTATES	2601 BENT TREE DR
STRADLEY, RICHARD GAGE	LOT 2, BLK 1 BENTRIDGE ESTATES ADDITION	2604 BENT TREE DR HURST, TX 76054
JORDAN, MARC	LOT 1, BLK 1 BENTRIDGE ESTATES ADDITION	2600 BENT TREE DR HURST, TX 76054
2020 SLC LLC	LOT 1A, BLK 1 BENTRIDGE PLAZA ADDITION	4514 TRIANGLE AVE STE 715 AUSTIN, TX 78715

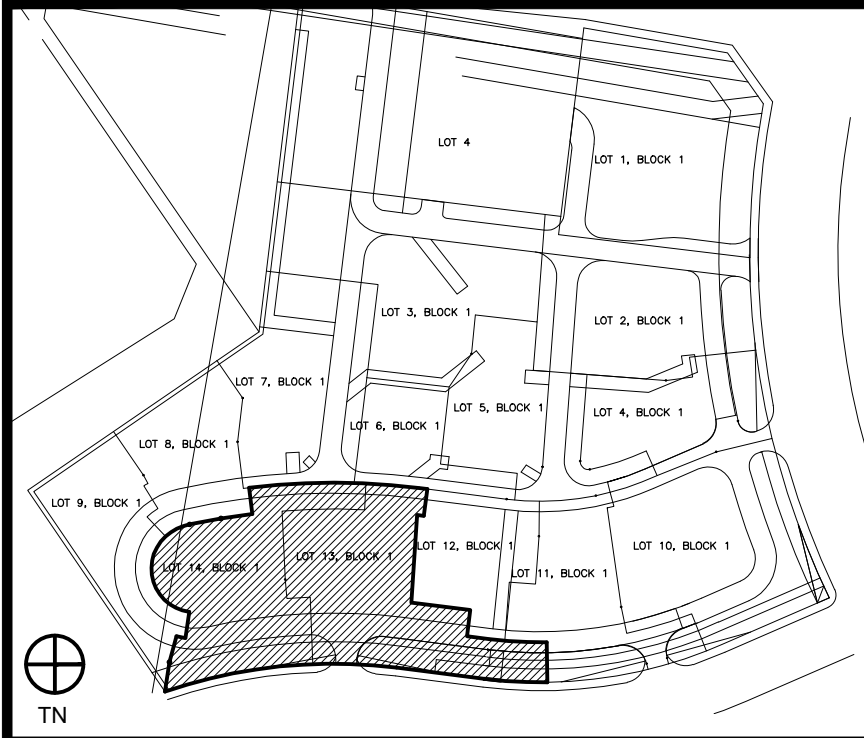
MAYFAIR STATION LLC	LOT B, BLK 2 NOWOOD NORTH ADDITION	11501 NORTHLAKE FL 1 DR CINCINNATI, OH 45249
PROSPECT PARK LTD	LOT 3, BLK 1 PRECINCT RIDGE ADDITION	821 LOCHMOOR LN HIGHLAND VILL, TX 75077
LAFMGF ENTERPRISES LLC	LOT 11, BLK 1 PRECINCT RIDGE ADDITION	3840 ROLLING MEADOWS DR BEDFORD, TX 76021
SCHROEDER, KAYLA	LOT 4, BLK 1 PRECINCT RIDGE ADDITION	8317 WESTWIND LN NORTH RICHLAND HILLS, TX 76182
VISION-THIRTY-THREE HOLDINGS L	LOT 10, BLK 1 PRECINCT RIDGE ADDITION	751 MID CITIES BLVD HURST, TX 76054
BOCA DOBLE LLC	LOT 11, BLK 1 PRECINCT RIDGE ADDITION	714 B GRAPEVINE HWY #41 HURST, TX 76054
AML STAR INV LLC	LOT 5, BLK 1 PRECINCT RIDGE ADDITION	9320 WESTERN RIDGE TR NORTH RICHLAND HILLS, TX 76182
VLP PRECINCT RIDGE LLC	LOT 12, BLK 1 PRECINCT RIDGE ADDITION	6404 BRYNWyCK LN NORTH RICHLAND HILLS, TX 76182
LAFMGF ENTERPRISES LLC	LOT 13, BLK 1 PRECINCT RIDGE ADDITION	3840 ROLLING MEADOWS DR BEDFORD, TX 76021
LAFMGF ENTERPRISES LLC	LOT 14, BLK 1 PRECINCT RIDGE ADDITION	3840 ROLLING MEADOWS DR BEDFORD, TX 76021
LAFMGF ENTERPRISES LLC	LOT 9, BLK 1, PRECINCT RIDGE ADDITION	3840 ROLLING MEADOWS DR BEDFORD, TX 76021
LAFMGF ENTERPRISES LLC	LOT 8, BLK 1 PRECINCT RIDGE ADDITION	3480 ROLLING MEADOWS DR BEDFORD, TX 76021
SUNSET PARK PROPERTIES LLC	LOT 6, BLK 1 PRECINCT RIDGE ADDITION	821 LOCHMOOR LN HIGHLAND VILL, TX 76021
LINRFA LLC	LOT 15, BLK 1 PRECINCT RIDGE ADDITION	13098 CATERPILLAR DR FRISCO, TX 75035
FOBI PREMIUM PROPERTIES LLC	LOT 7, BLK 1 PRECINCT RIDGE ADDITION	310 VIRGIL DR SUNNYVALE, TX 75182
LOWES	LOT 2R1. BLK1 LOWES ADDITION	770 GRAPEVINE HWY HURST, TX 76054
OCCUPANT	LOT B, BLK 2 NORWOOD NORTH ADDITION	700 GRAPEVINE HWY HURST, TX 76054
OCCUPANT	LOT 3, BLK 1 PRECINCT RIDGE ADDITION	6140 PRECINCT LINE RD HURST, TX 76054

OCCUPANT	LOT 2, BLK 1 PRECINCT RIDGE ADDITION	755 MID-CITIES BLVD HURST, TX 76054
OCCUPANT	LOT 4, BLK 1 PRECINT RIDGE ADDITION	753 MID-CITIES BLVD HURST, TX 76054
OCCUPANT	LOT 11, BLK 1 PRECINCT RIDGE ADDITION	6168 BENTRIDGE DR HURST, TX 76054
OCCUPANT	LOT 5, BLK 1 PRECINCT RIDGE ADDITION	6148 PRECINT LINE RD HURST TX 76054
OCCUPANT	LOT 12, BLK 1 PRECINCT RIDGE ADDITION	6164 BENTRIDGE DR HURST, TX 76054
OCCUPANT	LOT 13, BLK 1 PRECINCT RIDGE ADDITION	6160 BENTRIDGE DR HURST, TX 76054
OCCUPANT	LOT 14, BLK 1 PRECINCT RIDGE ADDITION	6156 BENTRIDGE DR HURST, TX 76054
OCCUPANT	LOT 9, BLK 1 PRECINCT RIDGE ADDITION	6130 PRECINCT LINE RD HURST, TX 76054
OCCUPANT	LOT 8, BLK 1 PRECINCT RIDGE ADDITION	6134 PRECINCT LINE RD HURST, TX 76054
OCCUPANT	LOT 6, BLK 1 PRECINCT RIDGE ADDITION	6144 PRECINCT LINE RD HURST, TX 76054
OCCUPANT	LOT 7, BLK 1 PRECINCT RIDGE ADDITION	6138 PRECENT LINE RD HURST, TX 76054

EXHIBIT A



SUBDIVISION MAP N.T.S.



SITE DATA SUMMARY CHART

(A) LOT AREA (ENTIRE SITE)	64,414 S.F. / 1.48 AC.
(B) SETBACK REQUIRED BY ZONING	
FRONT BUILDING LINE	25' FRONT B.L.
SIDE BUILDING LINE	10' SIDE B.L.
REAR BUILDING LINE	10' REAR B.L.
(C) ZONING	
CURRENT	GB - GEN. BUSINESS
PROPOSED	GB - GEN. BUSINESS
(D) PARKING SUMMARY	
REQUIRED (1:190)	54 SPACES
PROVIDED	54 SPACES
(E) OPEN SPACE	
LANDSCAPE AREA REQUIRED	9,666 S.F. (15%)
LANDSCAPE AREA PROVIDED	21,876 S.F. (34%)
IMPERVIOUS COV. EX. BLDG.	32,015 S.F. (50%)
IMPERVIOUS COV. INC. BLDG.	42,538 S.F. (66%)
BUILDING TOTAL COVERAGE	10,523 S.F. (16%)
PARKING COVERAGE	8,748 S.F. (14%)
(F) BUILDING HEIGHT	33'-4"
(G) PROPOSED USE	PRO. OFFICE

HATCH LEGEND

PROPOSED CONCRETE	[Hatch Pattern]
EXISTING 24" CON. FIRELANE	[Hatch Pattern]
PROPOSED LANDSCAPE	[Hatch Pattern]
PROPOSED BUILDING AREA	[Hatch Pattern]

SITE PLAN NOTES

- ALL DEBRIS AND MATERIALS TO BE REMOVED ON A REGULAR BASIS.
 - PROTECT EXISTING LANDSCAPING AND ITEMS TO REMAIN AS REQUIRED DURING CONSTRUCTION.
 - REFER TO GENERAL NOTES AND BALANCE OF DRAWINGS FOR ADDITIONAL INFORMATION.
 - REFER TO CIVIL DRAWINGS FOR CONCRETE SIDEWALKS.
 - REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING LOCATIONS.
 - REFER TO CIVIL DRAWINGS FOR NEW CURB CUTS FOR NEW DRIVEWAY.
 - THE EXTERIOR LIGHTING DEPICTED ON THE SITE PLAN MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF HURST ZONING ORDINANCE.
- PARKING & PASSENGER LOADING ZONES**
- ACCESSIBLE PARKING SPACE SHALL BE AT LEAST 96" WIDE.
 - PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH T.A.S.
 - TWO ACCESSIBLE PARKING SPACE MAY SHARE A COMMON ACCESS AISLE TO COMPLY WITH T.A.S.
 - PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
 - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACES SLOPES NOT EXCEEDING 1:48.
- ACCESSIBLE ROUTES SLOPES**
- AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20
 - NOWHERE SHALL ANY SLOPE EXCEED 1:48 AND SHALL COMPLY WITH T.A.S.
- ACCESSIBLE ROUTE LOCATION**
- AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. THE ACCESSIBLE ROUTE SHALL, TO THE MAXIMUM EXTENT FEASIBLE, COINCIDE WITH THE ROUTE FOR THE GENERAL PUBLIC.
 - ALL LOCATIONS OF ACCESSIBLE ROUTES SHALL COMPLY WITH T.A.S.

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF FIDELINA E. RAMIREZ, REGISTRATION #26463 ON 12/14/23, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 1.03 (I) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THIS DRAWING FILE IS NOT TO BE USED TO ASSUME ANY RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE ANY MODIFICATION TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

BOCA DOBLE, LLC.
PRO. OFFICE BUILDING
6156 & 6160 BENTRIDGE ROAD
HURST, TX 76054

LEGACY
A-D-P-R

FOR INTERIM NOT FOR REGULATORY PERMIT OR CONSTRUCTION

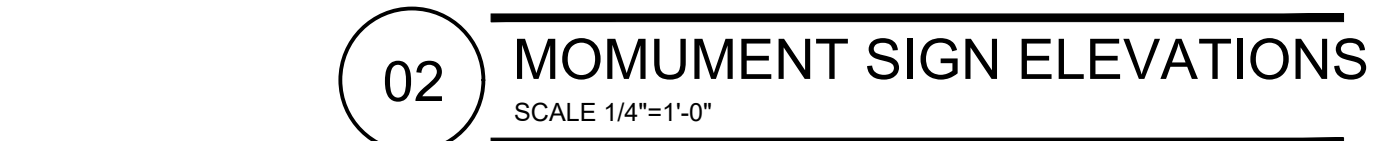
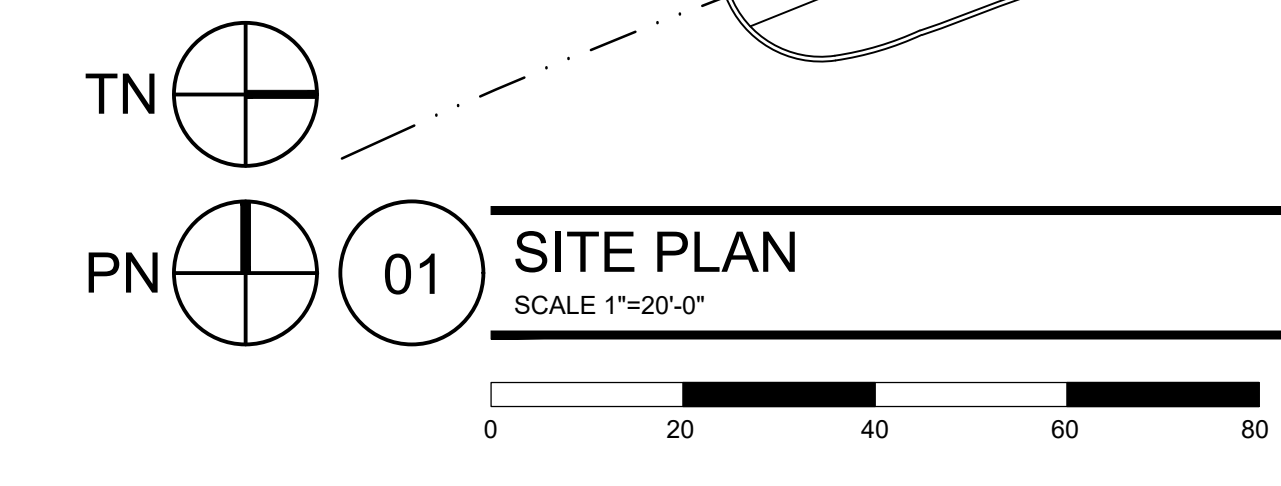
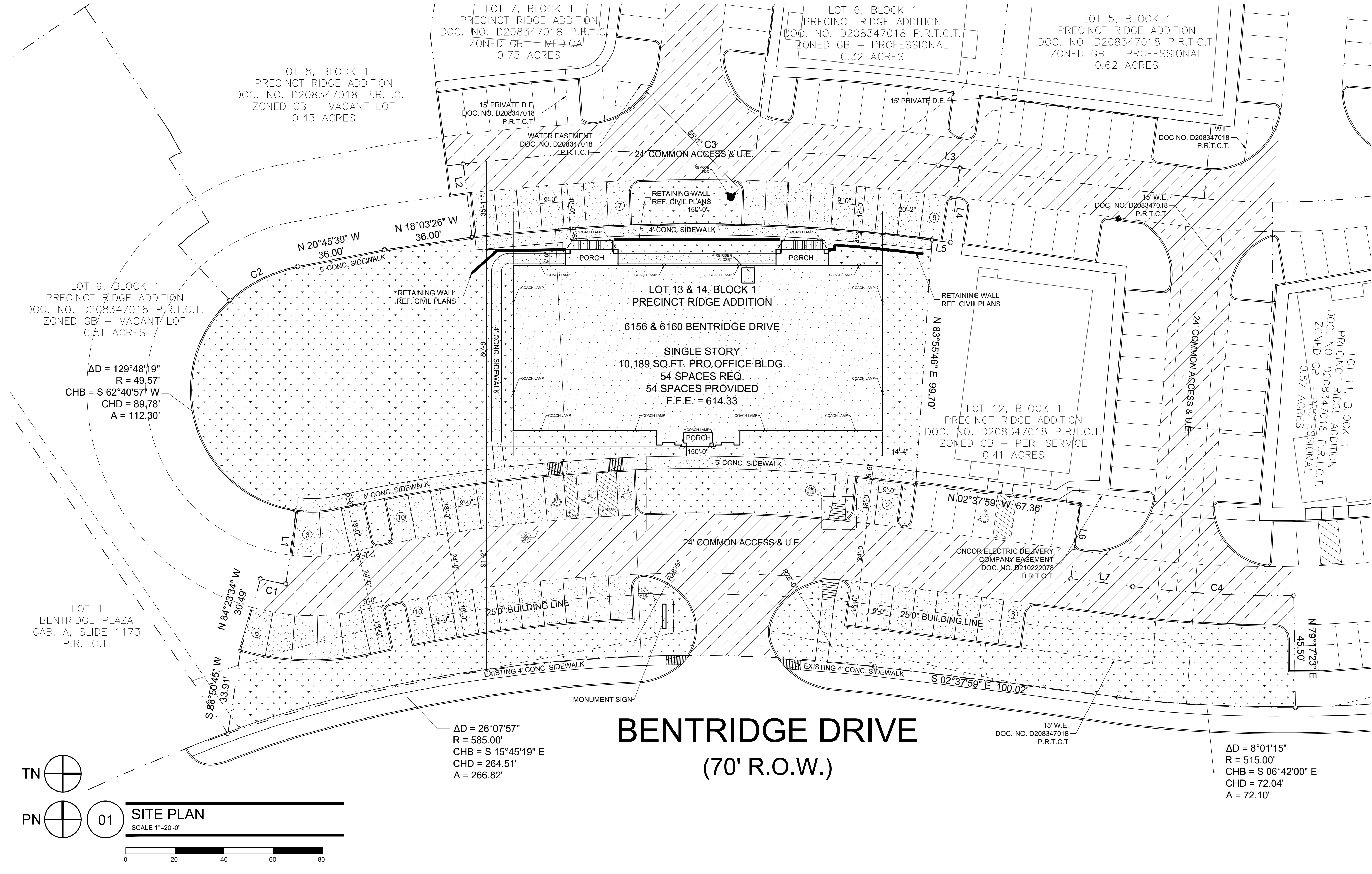
ARCHITECT FEE
 TX. REGISTRATION #26463
 DATE 12/14/23

DRAWN: W.V.
 CHECKED BY: F.E.R.
 DATE ISSUED FOR
 12/14/23 REVIEW

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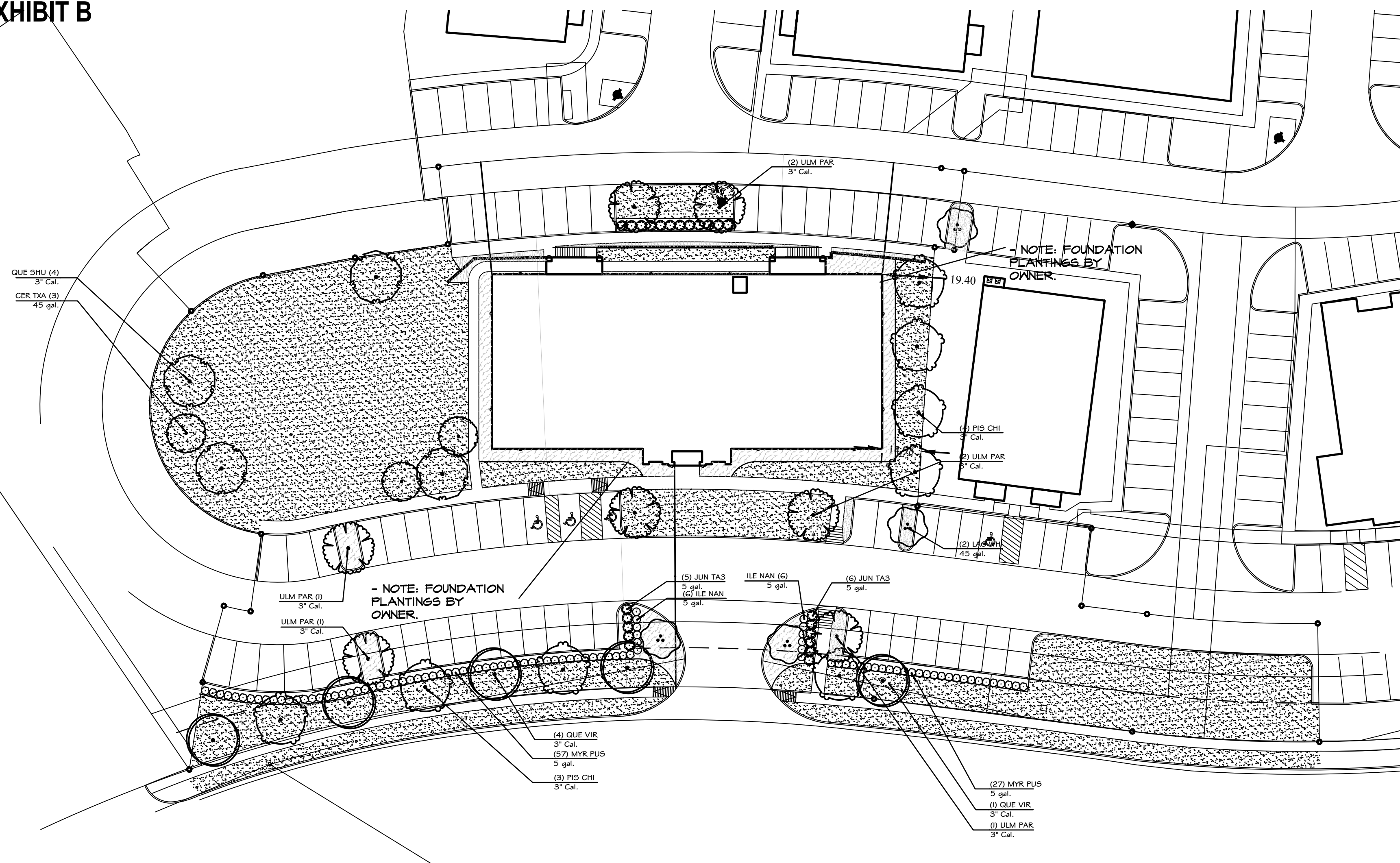


$\Delta D = 129^{\circ}48'19"$
 $R = 49.57'$
 $CHB = S 62^{\circ}40'57" W$
 $CHD = 89.78'$
 $A = 112.30'$

$\Delta D = 26^{\circ}07'57"$
 $R = 585.00'$
 $CHB = S 15^{\circ}45'19" E$
 $CHD = 264.51'$
 $A = 266.82'$

$\Delta D = 8^{\circ}01'15"$
 $R = 515.00'$
 $CHB = S 06^{\circ}42'00" E$
 $CHD = 72.04'$
 $A = 72.10'$

EXHIBIT B



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
TREES								
	CER TXA	3	Cercis canadensis texensis	Texas Redbud	45 gal.	6' Min Ht		Single Straight Trunk
	LAG WHI	4	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle Multi-Trunk	45 gal.	8' Min.		
	PIS CHI	8	Pistacia chinensis	Chinese Pistache	3" Cal.	10' Min.		Single Straight Trunk
	QUE SHU	4	Quercus shumardii	Shumard Oak	3" Cal.	12' Height Min		Single Straight Trunk
	QUE VIR	5	Quercus virginiana	Southern Live Oak	3" Cal.	12' Height Min		Single Straight Trunk
	ULM PAR	7	Ulmus parvifolia	Lacebark Elm	3" Cal.	12' Height Min		Single Straight Trunk
SHRUBS								
	ILE NAN	12	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	5 gal.	18"-24"	36" O.C.	
	JUN TAS	23	Juniperus sabina 'Tam'	Tam's Juniper	5 gal.		48" O.C.	
	MYR PUS	84	Myrica pusilla	Dwarf Southern Wax Myrtle	5 gal.	24" min.	36" O.C.	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
GROUND COVERS								
	CYN DAC	24,249 sf	Cynodon dactylon	Bermudagrass	Solid Sod			
	LIR BIG	860	Liriope muscari 'Big Blue'	Big Blue Lilyturf	4" pots		12" O.C. 12" o.c.	
	TRA ASI	2,626	Trachelospermum asiaticum	Asiatic Jasmine	4" pots		12" O.C. 12" o.c.	

NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM TREE CALIPER MEASUREMENT HEIGHT ABOVE GRADE AS REQUIRED BY CITY. CONTRACTOR SHALL CONFIRM ALL PLANTING MEET THE CITIES SIZE REQUIREMENTS.

CITY OF HURST COMMERCIAL LANDSCAPE REQUIREMENTS		
REQUIRED SITE LANDSCAPING	15% OF TOTAL SITE TO BE LANDSCAPE AREA	
	REQUIRED	PROVIDED
	64,438 SF X 15% = 9,666 SF	21,876 SF
REQUIRED LANDSCAPE SETBACK	MINIMUM 15' LANDSCAPE SETBACK	
	REQUIRED	PROVIDED
	15 LF	15 LF
REQUIRED STREET FRONTAGE TREES	1 TREE REQUIRED PER EVERY 50 FT OF FRONTAGE	
	REQUIRED	PROVIDED
	443 LF/50 = 9 TREES	9 TREES
REQUIRED STREET FRONTAGE SHRUBS	1 SHRUB REQUIRED PER EVERY 5 FT OF FRONTAGE	
	REQUIRED	PROVIDED
	443 LF/5 = 89 SHRUBS	107 SHRUBS
REQUIRED PARKING LOT LANDSCAPING	5% LANDSCAPE AREA REQUIRED	
	REQUIRED	PROVIDED
	21,127 SF X 5% = 1,057 SF	1,384 SF
REQUIRED PARKING LOT TREES	1 TREE PER EVERY 20 SPACES	
	REQUIRED	PROVIDED
	62 SPACES/20 = 4 TREES	4 TREES
BUFFER YARD REGULATION	15' OF LANDSCAPING BETWEEN DISTRICTS	
	REQUIRED	PROVIDED
	NA	NA
BUFFER YARD TREES	1 TREE PER 30 LF, 40% EVERGREEN	
	REQUIRED	PROVIDED
	206 LF/ 30 = 7 TREES	7 TREES

- ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM INSTALLED BY A LICENSED IRRIGATOR. SYSTEM TO INCLUDE RAIN AND FREEZE SENSORS.
- PARKING LOT SCREENED FROM STREET ROW.
- TREES REMOVED, BUT NOT IN THE BUILDABLE AREA TO BE MITIGATED INCH PER INCH.
- SITE WILL BE MAINTAINED IN ACCORDANCE WITH CITY OF HURST LANDSCAPE ORDINANCE, ARTICLE 13 a.

TREE REMOVAL

Number	DBH	Common Name	Comment
NO TREES ARE LOCATED ON THIS SITE.			

TOTAL CALIPER INCHES ON LOT	0"
TOTAL CALIPER INCHES RELOCATED	0" (0%)
TOTAL CALIPER INCHES REMOVED	0" (0%)

TOTAL MITIGATION REQUIRED:
0" CALIPER INCHES

499 EXISTING TREE TO BE REMOVED

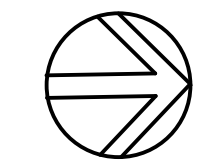
499 EXISTING TREE TO BE PRESERVED

- PLANTING NOTES:
- PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
 - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 - SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
 - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 - IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
 - INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
 - INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURERS INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
 - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
 - PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

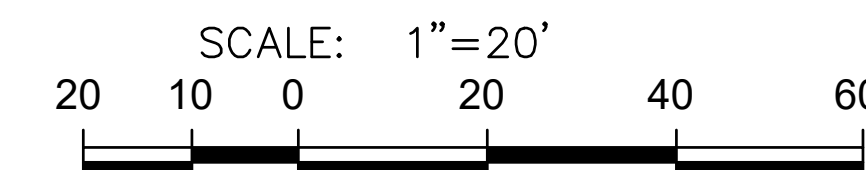
CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
TEXAS EXCAVATION SAFETY SYSTEM (TESS)
1-800-344-8377
TEXAS ONE CALL SYSTEMS
1-800-245-4545
LONE STAR NOTIFICATION CENTER
1-800-669-8344 EXT. 5

BEFORE YOU DIG...

NOTE:
NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.



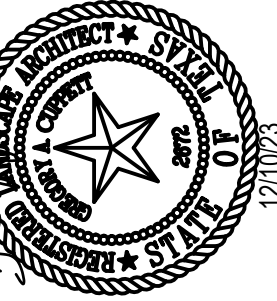
NORTH



TREE PRESERVATION PLAN
LANDSCAPE PLAN

Date DEC10, 2023
Drawn By GAC
Checked By GAC
Revisions

FAM • CUPPETT
LANDSCAPE ARCHITECTS, LLC
REGISTERED LANDSCAPE ARCHITECTS
STATE OF TEXAS
12110343



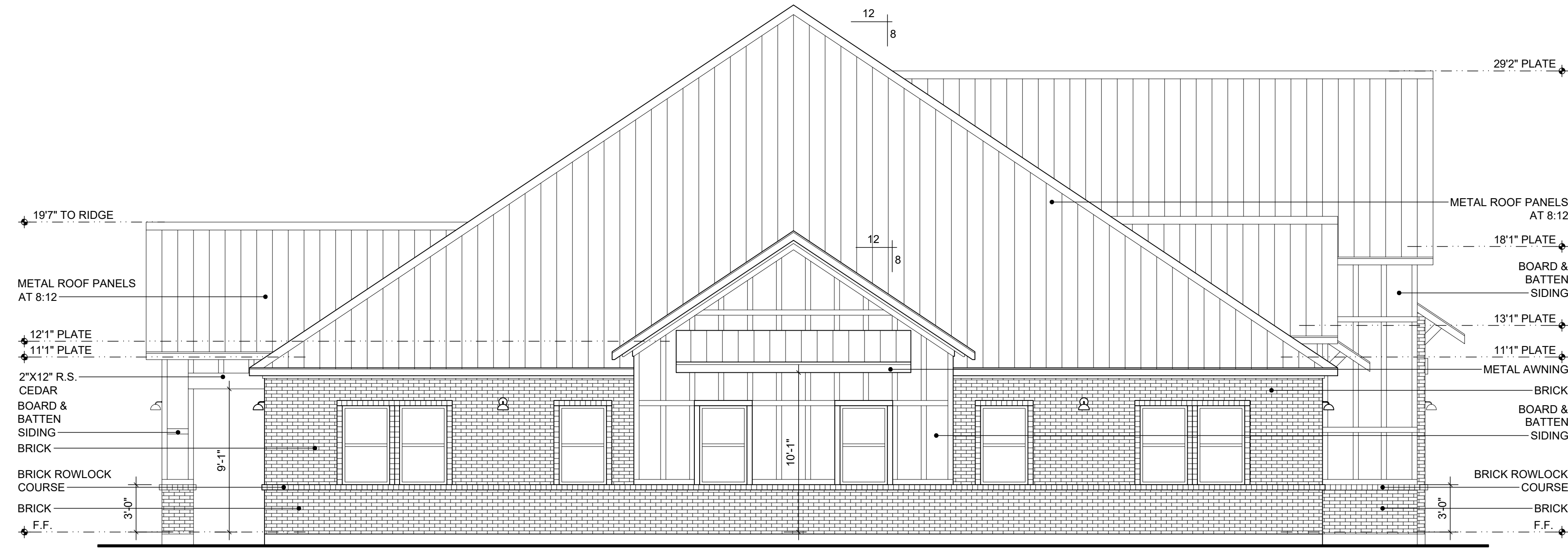
THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, F.A.S.A., P.E., REGISTERED PROFESSIONAL ENGINEER, STATE OF TEXAS, LICENSE NO. 12110343. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING, PROVIDED THAT THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE ORIGINAL DESIGN INTENT. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

LOT 13 AND 14
BENTRIDGE DRIVE
HURST, TEXAS

Sheet No.

L-1

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01 SOUTH ELEVATION

SCALE 3/16"=1'-0"



ELEVATION NOTES

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE UTILITIES AND AUTHORITIES HAVING JURISDICTION.
2. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION & INSTRUCTIONS, IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS AND AS SPECIFIED.
3. REFER TO FLOOR PLAN FOR OVERALL DIMENSIONS AND WINDOW TYPES.
4. THE GC SHALL CONFIRM AND COORDINATE ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS.
5. ALL METAL TRIM, GUTTERS, DOWNSPOUTS, CONDUCTORS HEADS, EXPOSED FLASHING TO BE PRE-FINISHED PER OWNERS COLOR SELECTION
6. WINDOW AND ENTRY DOOR FRAMES TO BE PRE-FINISHED PER OWNERS COLOR SELECTION
7. EXTERIOR GLAZING TO BE AS NOTED ON THE BUILDING ENERGY REPORT. CAULK/SEALANT TO MATCH ADJACENT MATERIAL COLOR. CONFIRM WITH OWNER

EXTERIOR MATERIAL LEGEND:

- ROOF SHINGLES**
 MFG: SHEFFIELD METALS OR EQUAL
 STYLE: TBD
 COLOR: TO MATCH EXISTING DEVELOPMENT
 INSTALLATION: AS NOTED
- BRICK**
 MFG: ACME BRICK OR EQUAL
 STYLE: TBD
 COLOR: TBD
 INSTALLATION: AS NOTED
- BOARD & BATTEN SIDING**
 MFG: JAMES HARDIE OR EQUAL
 STYLE: TBD
 COLOR: TBD
 INSTALLATION: AS NOTED
- SEALANT COLORS**
- | | |
|---|----------|
| BETWEEN ADJACENT CLEAR ALUMINUM SURFACES | ALUMINUM |
| BETWEEN ADJACENT BRONZE ALUMINUM SURFACES | ALUMINUM |
| BETWEEN ROCK/BRICK AND HARDIE BOARD | HARDIE |
| BETWEEN ALUMINUM AND ROCK/BRICK | ROCK |

MASONRY CALCULATIONS - SOUTH ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	MASONRY PROVIDED	%	SIDING PROVIDED	%
898 SF	120 SF	778 SF	467 SF	60%	311 SF	40%



02 EAST ELEVATION

SCALE 3/16"=1'-0"



MASONRY CALCULATIONS - EAST ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	MASONRY PROVIDED	%	SIDING PROVIDED	%
2162 SF	306 SF	1856 SF	929 SF	50%	927 SF	50%

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BOCA DOBLE, LLC.
 PRO. OFFICE BUILDING
 6156 & 6160 BENTRIDGE ROAD
 HURST, TX 76054

LEGACY
A-D-P-R

FOR INTERIM
 NOT FOR REGULATORY
 PERMIT OR CONSTRUCTION

ARCHITECT FER
 TX. REGISTRATION #26463
 DATE 12/14/23

DRAWN: W.V.
 CHECKED BY: F.E.R.

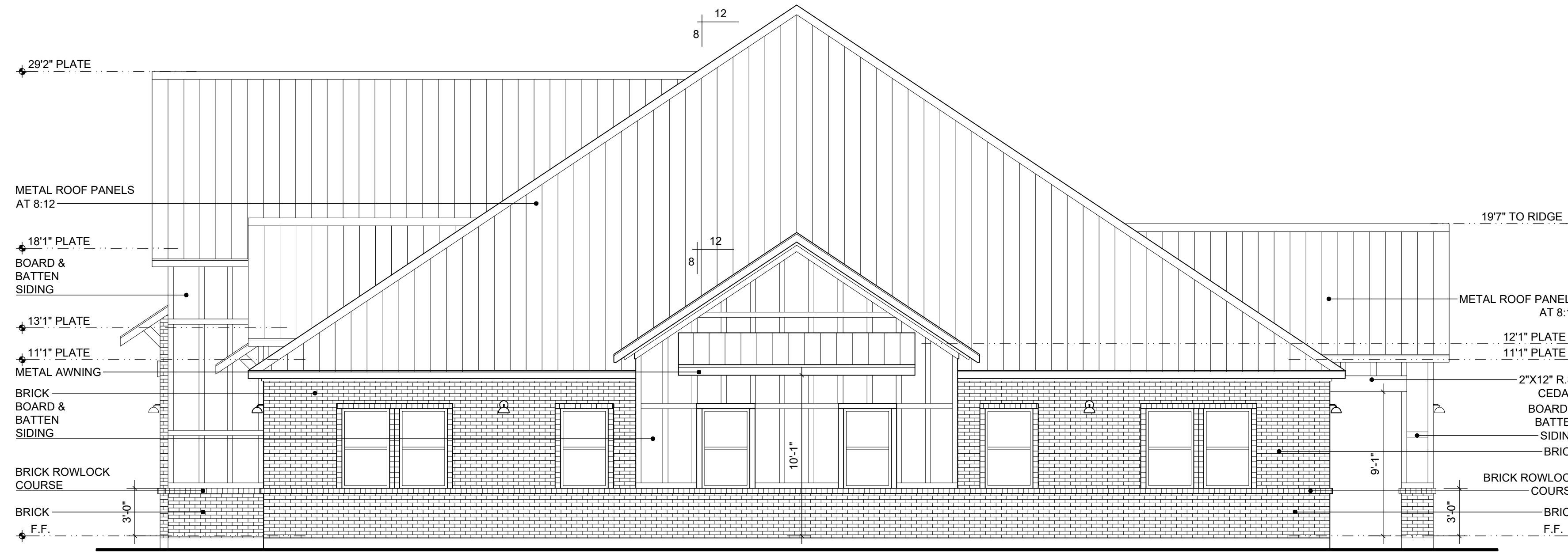
DATE	ISSUED FOR
12/14/23	REVIEW

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01 NORTH ELEVATION
SCALE 3/16"=1'-0"



ELEVATION NOTES

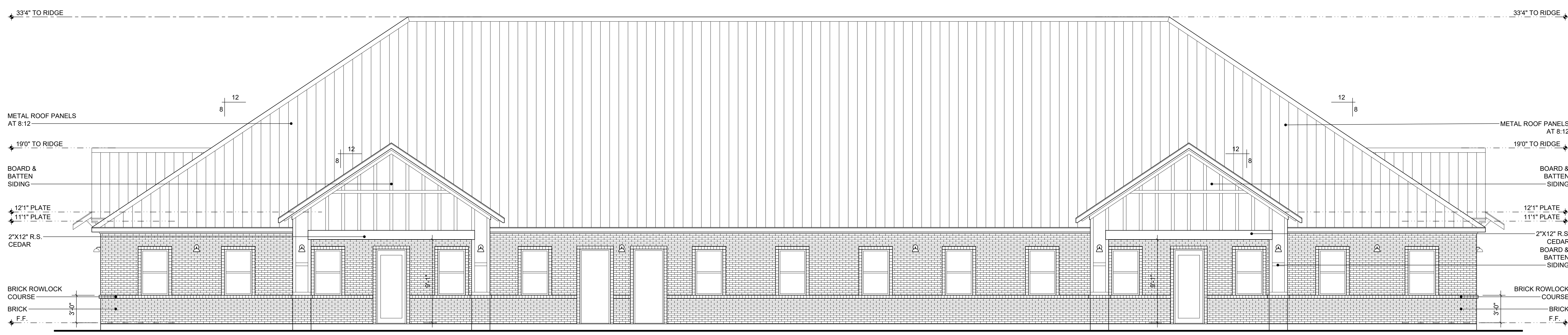
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- | | |
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| BETWEEN ROCK/BRICK AND HARDIE BOARD | HARDIE |
| BETWEEN ALUMINUM AND ROCK/BRICK | ROCK |

MASONRY CALCULATIONS - NORTH ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	MASONRY PROVIDED	%	SIDING PROVIDED	%
898 SF	120 SF	778 SF	467 SF	60%	311 SF	40%



02 WEST ELEVATION
SCALE 3/16"=1'-0"



MASONRY CALCULATIONS - WEST ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	MASONRY PROVIDED	%	SIDING PROVIDED	%
1715 SF	318 SF	1397 SF	1085 SF	78%	312 SF	22%

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BOCA DOBLE, LLC.
PRO. OFFICE BUILDING
6156 & 6160 BENTRIDGE ROAD
HURST, TX 76054



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ARCHITECT FER
TX. REGISTRATION #26463
DATE 12/14/23

DRAWN: W.V.
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City Council Staff Report

SUBJECT: Consider approval of the Central and Chisholm Aquatics Centers slide maintenance project	
Supporting Documents:	
	Meeting Date: 1/23/2024 Department: Community Services Reviewed by: Kyle Gordon City Manager Review:
Background/Budget Analysis:	
<p>The Central and Chisholm Aquatics Centers offer a range of water features and attractions, providing visitors with unique experiences at each park. In particular, the water slides have remained a popular activity, with thousands of riders each season.</p> <p>As the staff prepares for the upcoming season, they conduct thorough inspections of each slide to ensure rider safety by identifying any surface defects or potential hazards that may cause injury. Unfortunately, staff identified several repair and maintenance areas during this year’s assessment, specifically, the original blue tower slide and white berm slides at Central and the yellow tower slide at Chisholm require fiberglass repairs. The remaining four tower slides require reconditioning and cleaning to maintain the existing coating.</p> <p>Given the specialized nature of this work, staff worked closely with Amusement Restoration Companies (ARC) to develop a comprehensive scope of work for both facilities. ARC subsequently submitted a proposal of \$75,603 (including 10% contingency) to perform the necessary repair and reconditioning work in preparation for the 2024 aquatics season. ARC is a member of Buyboard and can complete the work as an approved vendor. They have done work for the City before and have an excellent reputation for their craftsmanship. Funding is available in the Community Services Development Corporation Unencumbered Fund Balance.</p>	
Hurst Way/Strategic Priorities:	
<p>In an effort to remain a vibrant community, this project addresses the City Council's Strategic Priorities for Community and Economic Vitality, Public Safety, Infrastructure, and Leadership by maintaining the City's parks and facilities.</p>	

Recommendation:

It is recommended City Council **authorize the city manager to proceed with the Central and Chisholm Aquatics Centers slide maintenance and repair project with approved City contractors for an amount not to exceed \$75,603.**



City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into an agreement with Dunaway Associates, LLC for demolition design services	
Supporting Documents:	
	Meeting Date: 1/23/2024 Department: Community Services Reviewed by: Kyle Gordon City Manager Review:
Background/Budget Analysis:	
<p>In preparation for redevelopment of the recently acquired Val Oaks Shopping Center and Masonic Lodge sites, it is necessary to demolish the existing structures. To begin this process, staff will work closely with an environmental consultant, to perform environmental surveys of the properties, and asbestos disposal companies, to test for contaminated materials and inform the design process of the necessary precautions that need to occur.</p> <p>Dunaway Associates, LLC will be involved in developing detailed construction documents outlining the scope of work to remove the existing buildings, pavement, lighting, utilities, and other associated structures. The construction documents will include demolition, grading, and erosion control specifications that contractors can review and price accurately. In addition to the construction plans, Dunaway's proposal for \$21,450 (including a 10% contingency) includes construction administration services to assist once demolition begins.</p> <p>The timeline to complete the construction plans is approximately 12 weeks, and funding in the amount of \$21,450 is available in the Special Projects Fund.</p>	
Hurst Way/Strategic Priorities:	
<p>In an effort to remain a vibrant community, this project addresses the City Council's Strategic Priorities for Community and Economic Vitality, Infrastructure, Public Safety, and Leadership by redeveloping and reinvesting in the community.</p>	

Recommendation:

It is recommended City Council **authorize the city manager to enter into an agreement with Dunaway Associates, LLC, for demolition design services in an amount not to exceed \$21,450.**



City Council Staff Report

SUBJECT: Consider authorizing the city manager to increase billing rates for EMS treatment and transport and ambulance subscription rates	
Supporting Documents:	
	Meeting Date: 1/23/2024 Department: Fire Reviewed by: Brent Craft City Manager Review:
Background/Budget Analysis:	
<p>Recent legislation prompted staff to review our current billing practices. The current billing rates have not been changed in over 15 years. After thorough analysis of our billing, including Medicare, resident versus non-resident rates, and comparable practices and rates in neighboring areas, staff believes changes to our billing and rates are necessary.</p> <p>Currently, the average rate for an ALS (Advanced Life Support) bill is approximately \$1,870 for surrounding cities. Therefore, staff is proposing an average rate of \$1,850 which is an increase of approximately 33% from our current billing rate. Staff is also proposing flat rate disposal charges rather than itemized billing to align with neighboring cities, and eliminate resident and non-resident rates, as recommended by our billing company. The ALS charge is included in the \$1,850 figure. The demand for medical services continues to rise and the costs associated with providing these essential services have escalated. As such, staff believes an adjustment in the billing rate is necessary to ensure sustainability and quality of our services. The proposed increases remain competitive and reasonable with neighboring cities.</p> <p>In addition to billing rate change, there is a need for a change in the Ambulance Subscription rate. In FY 2023, the Ambulance Subscription had a deficit of \$2,500. The current rate for the program is \$60 annually per household, and staff is proposing an increase to \$75 annually per household.</p>	
Hurst Way/Strategic Priorities:	
<p>The proposed rate increases will enable us to maintain our high standard of care and continue the exceptional service our department provides. The rate increases will also allow us to provide exceptional Public Service while maintaining Financial Stability and remaining fiscally responsible to our citizens.</p>	

Recommendation:

It is recommended City Council **authorize the city manager to increase billing rates for EMS treatment and transport and ambulance subscription rates.**



City Council Staff Report

SUBJECT: Consider designating the reconstruction of Ponderosa Drive from Precinct Line Rd east 762 feet to 732 Ponderosa Drive as the FY 2024 – 50th Year Community Development Block Grant (CDBG) Program Project	
Supporting Documents:	
2023 CDBG Target Areas Vicinity Map Location Map Estimated Project Cost	Meeting Date: 1/23/2024 Department: Public Works Reviewed by: Greg Dickens City Manager Review:
Background/Budget Analysis:	
<p>Tarrant County will be receiving H.U.D. funding in 2024 for projects designed to upgrade low to moderate-income neighborhoods in the Community Development Block Grant (CDBG) area.</p> <p>Pursuant to the requirement of amended Community Development Act of 1974, each city must hold at least one public hearing. The City’s public hearing was advertised December 26, 2023 and held January 9, 2024 at the regularly scheduled City Council meeting. No one from the public spoke at the public hearing.</p> <p>Staff has reviewed the eligible areas in Hurst and recommends the reconstruction of Ponderosa Drive from Precinct Line Road east 762 feet to 732 Ponderosa Drive as the project for the 2024 CDBG program. The reconstruction will include the replacement of the existing asphalt pavement with reinforced concrete. Water distribution and sanitary sewerage systems were reconstructed in 2010 and do not need improvements.</p> <p>The estimated cost of construction including contingencies is \$515,012. Staff estimates the City of Hurst will receive a CDBG grant amount of \$160,000 from Tarrant County. The City of Hurst will be responsible for all design costs estimated at \$40,000. Hurst will be responsible for all project construction costs above the CDBG grant amount, approximately \$395,012. Construction funding will be provided in the FY 2024-2025 Budget when reimbursement to Tarrant County for the project is expected.</p>	

Hurst Way/Strategic Priorities:

Participation in the CDBG program and funds granted to the City is directly representative of the Council's goals of **Financial Sustainability** and **Infrastructure**. The reconstruction of streets in older portions of the City will encourage **Redevelopment** and appreciating property values in those areas.

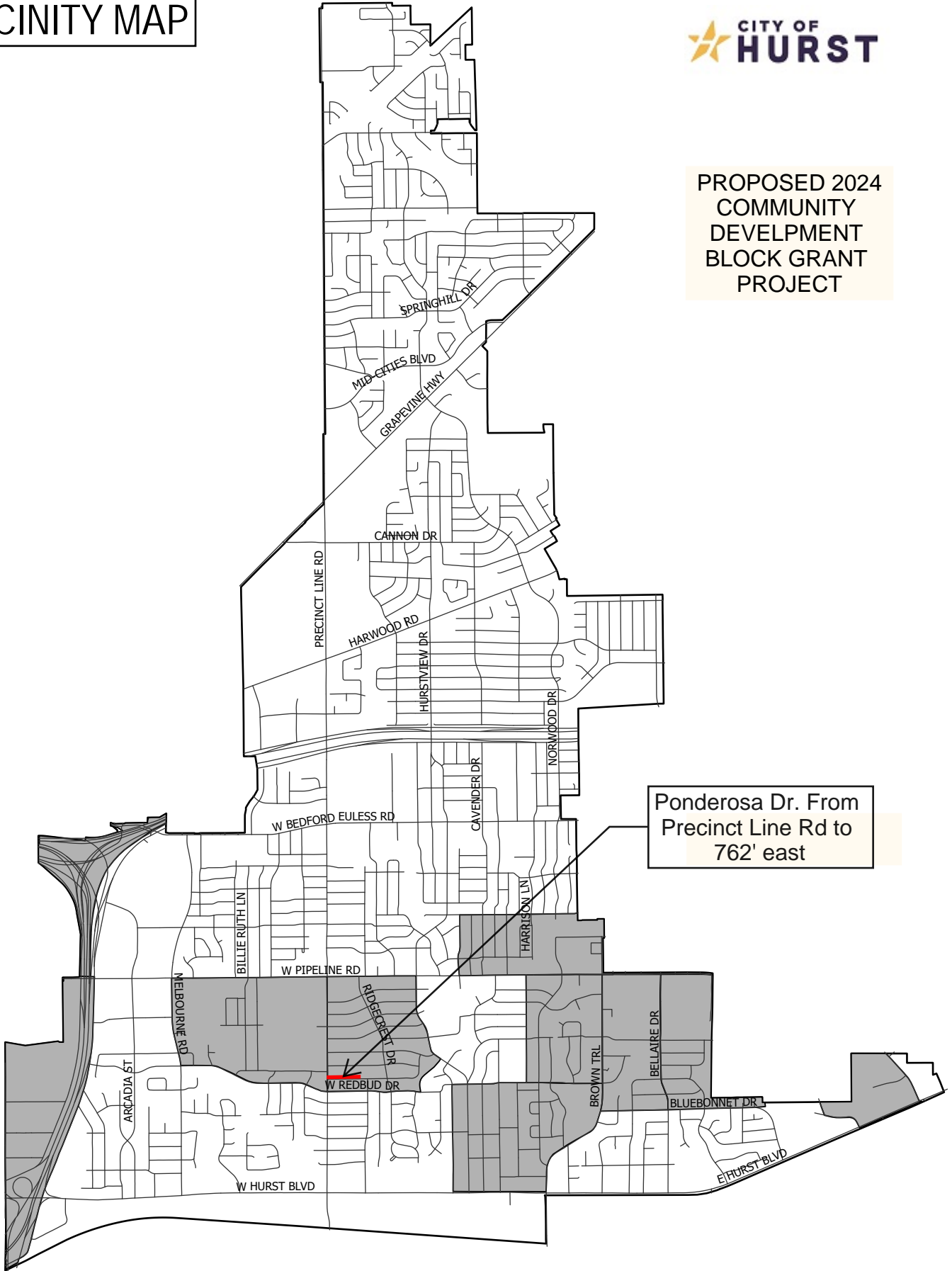
Recommendation:

Staff recommends City Council **designate the reconstruction of Ponderosa Drive from Precinct Line Rd, east 762 feet to 732 Ponderosa Drive as the FY 2024 – 50th Year Community Development Block Grant Program Project for the City of Hurst.**

VICINITY MAP

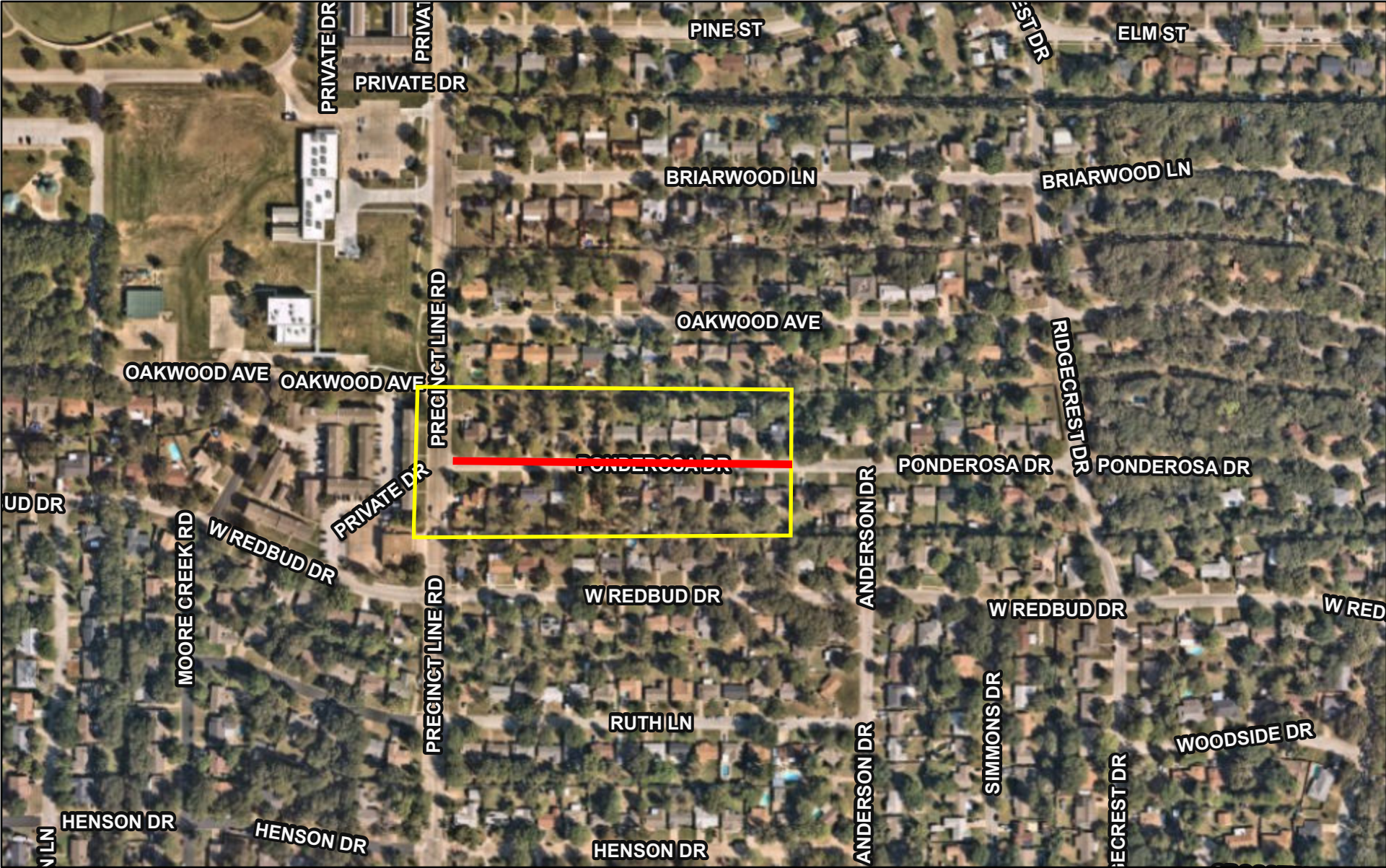


PROPOSED 2024
COMMUNITY
DEVELOPMENT
BLOCK GRANT
PROJECT



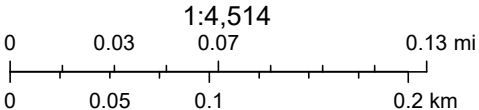
Ponderosa Dr. From
Precinct Line Rd to
762' east

City of Hurst: Location Map



12/12/2023, 11:23:43

Streets



Esri Community Maps Contributors, Tarrant County College, City of Arlington, TX, City of Fort Worth, City of Hurst, Texas Parks & Wildlife, ©

ArcGIS Web AppBuilder

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City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into a contract with GRod Construction, LLC, for the State Highway 26 @ TXDOT STA. 238+00 – 12” Sanitary Sewer Crossing	
Supporting Documents:	
Location Map Bid Summary Engineer’s Recommendation Letter	Meeting Date: 1/23/2024 Department: Public Works Reviewed by: Greg Dickens City Manager Review:
Background/Budget Analysis:	
<p>This project involves replacement of a corroded 12-inch diameter cast iron pipe across State Highway 26 (Grapevine Highway) near the Tarrant County Northeast Courthouse with a new 20-inch diameter steel casing (installed by boring method), carrying a 12-inch diameter plastic sewer pipe. The old 12-inch sewer has corroded so bad that the City’s high-pressure sewer cleaning machine can no longer be used to clear stoppages. The new installation will be parallel with the existing crossing but 10 feet to one side. The construction will include some pipe installed by trenching, three manholes, and some driveway and sidewalk replacement. The contractor will also spray an epoxy lining on the interior of two existing concrete manholes to protect them from deterioration due to hydrogen sulfide gases.</p> <p>Bids were received and opened on January 17, 2024 at 2:00 p.m. at City Hall for the subject project. Three bids were received with the low bid being submitted by GRod Construction, LLC in the amount of \$252,390.00. GRod Construction has satisfactorily completed previous projects in the city. Staff and our engineering consultant recommend award to the low bidder.</p> <p>Sufficient monies are available for this project in the Water and Wastewater Depreciation Fund.</p>	
Hurst Way/Strategic Priorities:	
Entering into this construction contract is directly representative of the Council’s priorities and goals of Financial Sustainability and Infrastructure .	

Recommendation:

Staff recommends City Council **authorize the city manager to enter into a contract with GRod Construction, LLC for the State Highway 26 @ TXDOT STA. 238+00 – 12-inch Sanitary Sewer Crossing, in the amount of \$252,390.00 and a construction contract duration of 60 calendar days.**



CSJ 0363-01-110
EXISTING 12" SANITARY
SEWER CROSSING.
APPROX. TXDOT STA 238+00

PROJECT
LOCATION

PROJECT LOCATION
(NOT TO SCALE)

BURGESS & NIPLE

12750 Merit Drive | Park Central 7 | Suite 425 | Dallas TX 75251 | 972.620.1255

January 18, 2024

Gregory Dickens, P.E.
Exec. Director of Public Works
City of Hurst, Texas
1505 Precinct Line Rd.
Hurst, TX 76054

Re: State Highway 26 @ TXDOT Sta: 238+00 – 12” Sanitary Sewer Crossing
Project No.: 6924-202 Bid No.: 24-001

Dear Mr. Dickens:

The following bids were received for the above referenced project on January 17, 2024:

	Company Name	Total Base Bid	Bid Alternate	Total with Bid Alternate
1	Grod Construction, LLC	\$248,750.00	\$71,890.00	\$252,390.00
2	Canary Construction, Inc.	\$274,880.00	\$136,500.00	\$302,180.00
3	M-Co Construction, Inc.	\$346,409.89	\$122,880.94	\$361,009.02

The Engineer's Estimate:

Total Base Bid - \$190,880.00, Bid Alternate - \$109,200.00, Total with Bid Alternate - \$231,830.00

The Dallas office of Burgess & Niple, Inc. has had no past construction experience with the low bidder for the project. The City of Hurst has worked on several projects with Grod Construction in the past and believe the company to do quality work and easy to work with.

Therefore, we recommend that GRod Construction, LLC be awarded this project based on City of Hurst reference.

If you have any questions concerning the construction award recommendation, please call.

Sincerely,

Burgess & Niple, Inc.



Lowell D. DeGroot, P.E., Senior Project Manager
Enclosure: Bid Tab

Future Events Calendar

January 23, 2024

Regular City Council meetings are held on the second and fourth Tuesday of each month. Following are additional meetings, canceled meetings and public event dates.

<u>DATE AND TIME</u>	<u>ACTIVITY</u>
Thursday, February 29, 2024 6:00 p.m. – 8:00 p.m.	Town Hall Forum, Hurst Conference Center