

**WORK SESSION AGENDA OF THE CITY COUNCIL OF
HURST, TEXAS
CITY HALL, 1505 PRECINCT LINE ROAD
FIRST FLOOR CONFERENCE ROOM
TUESDAY, MARCH 26, 2024 – 5:30 P.M.**

I. Call to Order

II. Informational Items

- **Update and discussion of upcoming Calendar Items**

III. Update and discussion of Regular Agenda Items

IV. Discussion of Agenda Item(s) 4

Consider authorizing the city manager to enter into an annual contract with Vulcan Inc. for Traffic Sign Blanks

V. Discussion of Agenda Item(s) 5

Consider authorizing the city manager to enter into an implementation project with Waypoint Solutions to provide software, hardware and professional services to implement multi-factor authentication in the City

VI. Discussion of Agenda Item(s) 6

Conduct a public hearing and consider Ordinance 2566, first reading, Z-2024-00004 Valentine Oaks Homes, a zoning change with a concept plan from R2-PD to MU-PD for Lot G, Block 16 Valentine Oaks Addition, being .44 acre located at 916 Barbara Ann Drive (Applicant has requested a withdrawal)

VII. Discussion of Agenda Item(s) 7

Conduct a public hearing and consider Ordinance 2567, first reading, Z-2024-00005 Gibson RV Parking a zoning change to Interim Zoning with a site plan on Lot 1, Block 1 Central Park Northeast Addition, being 5.08 acres located at 1425 W. Hurst Boulevard

VIII. Discussion of Agenda Item(s) 8

Consider authorizing the city manager to enter into an engineering services contract with Aguirre & Fields, LP for Brown Trail Reconstruction Improvements from Queens Way to the Northern City Limits

IX. Discussion of Agenda Item(s) 9 and 10

Consider authorizing the city manager to enter into a High-Density Mineral Bond Seal Service Contract with Andale Construction, Inc.

Consider authorizing the city manager to enter into a contract with Innovative Roadway Solutions, LLC. for Surface Preservation Treatment application

X. Discussion of Agenda Items(s) 11

Consider authorizing the city manager to enter into a grant development agreement with JG Grant Consulting LLC, dba Complete Virtual Business Solutions for a Bureau of Reclamation WaterSMART Water and Energy Efficiency grant

XI. ADJOURNMENT

Posted by: _____

This the 22nd day of March 2024, by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

Any item on this posted agenda could be discussed in executive session as long as it is within one of the permitted categories under sections 551.071 through 551.076 and section 561.087 of the Texas Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (817) 788-7041 or FAX (817) 788-7054, or call TDD 1-800-RELAY-TX (1-800-735-2989) for information or assistance.

**REGULAR MEETING AGENDA OF THE CITY COUNCIL OF HURST, TEXAS
CITY HALL, 1505 PRECINCT LINE ROAD
TUESDAY, MARCH 26, 2024**

AGENDA:

5:30 p.m. - Work Session (City Hall, First Floor Conference Room)

6:30 p.m. - City Council Meeting (City Hall, Council Chamber)

CALL TO ORDER

INVOCATION (Councilmember John Miller)

PLEDGE OF ALLEGIANCE

CONSENT AGENDA

1. Consider approval of the minutes for the March 12, 2024 City Council meetings
2. Consider Ordinance 2564, second reading, amending Chapter 27, Zoning, of the Code of Ordinances, adding a new Section 27-19.1 to create an Interim Zoning District
3. Consider Ordinance 2565, second reading, to consider SITE-2023-00015 Westdale Hills Community Center, a site plan revision for Lot 4AR, Block 1 Sotogrande Addition, being 1.24 acres located at 1601 Sotogrande Boulevard
4. Consider authorizing the city manager to enter into an annual contract with Vulcan Inc. for Traffic Sign Blanks
5. Consider authorizing the city manager to enter into an implementation project with Waypoint Solutions to provide software, hardware, and professional services to implement multi-factor authentication in the City

PUBLIC HEARING(S) AND RELATED ITEM(S)

6. Conduct a public hearing and consider Ordinance 2566, first reading, Z-2024-00004 Valentine Oaks Homes, a zoning change from R2-PD to MU-PD with a concept plan for Lot G, Block 16 Valentine Oaks Addition, being .44 acre located at 916 Barbara Ann Drive (Applicant has requested a withdrawal)
7. Conduct a public hearing and consider Ordinance 2567, first reading, Z-2024-00005 Gibson RV Parking, a zoning change to Interim Zoning with a site plan on Lot 1, Block 1 Central Park Northeast Addition, being 5.08 acres located at 1425 W. Hurst Boulevard

OTHER BUSINESS

8. Consider authorizing the city manager to enter into an engineering services contract with Aguirre & Fields, LP for Brown Trail Reconstruction Improvements from Queens Way to the Northern City Limits
9. Consider authorizing the city manager to enter into a High-Density Mineral Bond Seal Service Contract with Andale Construction, Inc.
10. Consider authorizing the city manager to enter into a contract with Innovative Roadway Solutions, LLC. for Surface Preservation Treatment application
11. Consider authorizing the city manager to enter into a grant development agreement with JG Grant Consulting LLC, dba Complete Virtual Business Solutions for a Bureau of Reclamation WaterSMART Water and Energy Efficiency grant
12. Review of upcoming calendar items
13. City Council Reports - Items of Community Interest

PUBLIC INVITED TO BE HEARD – A REQUEST TO APPEAR CARD MUST BE COMPLETED AND RETURNED TO THE CITY SECRETARY TO BE RECOGNIZED. CITIZEN COMMENTS ARE LIMITED TO A MAXIMUM OF 3 MINUTES PER SPEAKER

ADJOURNMENT

Posted by: _____

This 22nd day of March 2024, by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

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**Minutes
Hurst City Council
Work Session
Tuesday, March 12, 2024**

On the 12th day of March 2024, at 5:37 p.m., the City Council of the City of Hurst, Texas, convened in Work Session at City Hall, 1505 Precinct Line Road, Hurst, Texas, with the following members present:

Henry Wilson	)	Mayor
Gary N. Waldron	)	Mayor Pro Tem
Cathy Brotherton	)	Councilmembers
Cindy Shepard)	
Jon McKenzie)	
Jimmy Meeks)	
Clay Caruthers	)	City Manager
Natalie Gullo	)	City Attorney
Clayton Fulton	)	Assistant City Manager
Rita Frick	)	City Secretary
Michelle Lazo	)	Executive Director of Planning and Development
Chris Connolly	)	Executive Director of Economic Development
Greg Dickens	)	Executive Director of Public Works
Kyle Gordon	)	Executive Director of Community Services
Steve Niekamp	)	Police Chief

With the following Councilmembers absent: John Miller, constituting a quorum; at which time, the following business was transacted:

I. Call to Order – The meeting was called to order at 5:37 p.m.

II. Informational Items

- **Update and discussion of upcoming Calendar Items** – Staff updated Council on future events.
- **Update and discussion on Community Services projects** – Executive Director of Community Services Kyle Gordon briefed Council on various projects including median design at Precinct Line Road and Highway 183; Parks and Recreation, Senior Center and Library events. He noted the April 8 eclipse event at Hurst Community Park, and that 12 artist’s proposals have been received for the Art in Public Places project. Mr. Gordon also advised of staff’s work with the North Central Texas Council of Government to seek grant funding for a Bike and Pedestrian Mobility Master Plan.

III. Update and discussion of Regular Agenda Items

IV. Discussion of Agenda Item(s) 4

Conduct a public hearing and consider Ordinance 2561, first reading, SITE-2023-00012 Mobile C-Store and Liquor, a site plan revision and Special Use Permit for Packaged Alcohol Sales on Lot 1, Block 1 Hunters Glen Addition, being .99 acre located at 1635 Precinct Line Road (Continued from the February 27, 2024 City Council meeting)

City Manager Clay Caruthers noted staff received a request to continue this item to the April 9, 2024 City Council meeting.

V. Discussion of Agenda Item(s) 5

Conduct a public hearing and consider Ordinance 2564, first reading, amending Chapter 27, Zoning, of the Code of Ordinances, adding a new Section 27-19.1 to create an Interim Zoning District

City Manager Clay Caruthers briefed Council on the concept of this item, noting the City Attorney recommended the concept and the Planning and Zoning Commission recommends approval. He stated he has met with the owner, whose case goes to the Planning and Zoning Commission next Monday, and that tonight's ordinance establishes the Interim Zoning category for properties 5 acres or more and for no longer than 5 years. He stated this category will allow an interim tool to allow the North Central Texas Council of Governments (NCTCOG) to study the vision of the Highway 10 corridor. He stated any owner will have to apply, go to the Development Review Committee, Planning and Zoning, and Council meetings, and stand on its own merits.

VI. Discussion of Agenda Item(s) 6

Conduct a public hearing and consider Ordinance 2565, first reading, to consider SITE-2023-00015 Westdale Hills Community Center, a site plan revision for Lot 4AR, Block 1 Sotogrande Addition, being 1.24 acres located at 1601 Sotogrande Boulevard

Executive Director of Planning and Development Michelle Lazo briefed Council on the proposed case. Ms. Lazo stated the applicant is requesting a site plan revision to demolish the existing strip retail center and construct a new community center. She stated there will be no changes to the access points and reviewed the lighting, floor, and landscape plans. Ms. Lazo also reviewed the elevation of the building and signage.

VII. Discussion of Agenda Item(s) 7

Consider authorizing the city manager to enter into an engineering services contract with Shield Engineering Group, PLLC for Lorean Branch Bank Repair and Stabilization upstream of Cannon Drive

Executive Director of Public Works Greg Dickens reviewed the proposed contract for Lorean Branch Creek just upstream of Cannon Drive. Mr. Dickens noted the erosion escalation on the west slope and reviewed the stabilization products to be utilized, Scourlok and Armormax. He stated the proposed contract is with Shield Engineering Group PLLC, and they have considerable experience with designing these types of erosion control systems. Mr. Dickens stated the total fee for the engineering services is \$65,873.00 and final plans and

specifications for this project should be provided within 100 calendar days.

EXECUTIVE SESSION in Compliance with the Provisions of the Texas Open Meetings Law, Authorized by Government Code 551.072, deliberation of the purchase, exchange, lease, or value of real property (Pipeline Road Project) and to reconvene in Open Session at the conclusion of the Executive Session to consider and take any necessary action

Mayor Wilson recessed the meeting to Executive Session at 6:07 p.m. in compliance with the provisions of the Texas Open Meetings Law, authorized by Government Code 551.072, deliberation of the purchase, exchange, lease, or value of real property (Pipeline Road Project) and reconvened open session at 6:17 p.m.

Director of Planning and Development Michelle Lazo also advised of the April 6 Rain Barrel event at the Library.

VIII. ADJOURNMENT – Mayor Wilson adjourned the Work Session at 6:20 p.m.

APPROVED this the 26th day of March 2024.

ATTEST:

APPROVED:

Rita Frick, City Secretary

Henry Wilson, Mayor

City Council Minutes
Tuesday, March 12, 2024

On the 12th day of March 2024, at 6:30 p.m., the City Council of the City of Hurst, Texas, convened in a Regular Meeting at City Hall, 1505 Precinct Line Road, Hurst, Texas, with the following members present:

Henry Wilson	)	Mayor
Gary N. Waldron	)	Mayor Pro Tem
Cathy Brotherton	)	Councilmembers
Cindy Shepard)	
Jon McKenzie)	
Jimmy Meeks)	
Clay Caruthers	)	City Manager
Natalie Gullo	)	Assistant City Attorney
Clayton Fulton	)	Assistant City Manager
Rita Frick	)	City Secretary
Michelle Lazo	)	Executive Director of Planning and Development
Chris Connolly	)	Executive Director of Economic Development
Greg Dickens	)	Executive Director of Public Works
Steve Niekamp	)	Police Chief

With the following Councilmembers absent: John Miller, constituting a quorum; at which time, the following business was transacted:

The meeting was called to order at 6:30 p.m. and Councilmember Cindy Shepard gave the Invocation.

The Pledge of Allegiance and Texas Pledge were given.

CONSENT AGENDA

1. Consider approval of the minutes for the February 27, 2024 City Council meetings
2. Consider Ordinance 2562, second reading, SITE-2024-00020 Mission Town Square, a site plan revision for signage only on Lot 1, Block A Eden Town Square Addition, being 5.046 acres located at 760 West Bedford Euless Road
3. Consider Ordinance 2563, second reading, replacing Subsection 27-21 (e)(8) Corner Lots in Residential Districts

Councilmember Waldron moved to approve the consent agenda. Motion seconded by Councilmember Meeks. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron and Meeks
No: None

PUBLIC HEARING(S) AND RELATED ITEM(S)

4. Conduct a public hearing and consider Ordinance 2561, first reading, SITE-2023-00012 Mobile C-Store and Liquor, a site plan revision and Special Use Permit for Packaged Alcohol Sales on Lot 1, Block 1 Hunters Glen Addition, being .99 acre located at 1635 Precinct Line Road (Continued from the February 27, 2024 City Council meeting)

Mayor Wilson announced the applicant requests this item be moved to the April 9, 2024 City Council meeting.

Councilmember McKenzie moved to table this item to the April 9, 2024 Council meeting. Motion seconded by Councilmember Brotherton. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron and Meeks
No: None

5. Conduct a public hearing and consider Ordinance 2564, first reading, amending Chapter 27, Zoning, of the Code of Ordinances, adding a new Section 27-19.1 to create an Interim Zoning District

Mayor Wilson announced the public hearing to consider Ordinance 2564, first reading, amending Chapter 27, Zoning, of the Code of Ordinances and recognized City Manager Clay Caruthers who reviewed the proposed case. Mr. Caruthers noted the North Central Texas Council of Governments (NCTCOG) recently received funding to conduct a plan on the Highway 10 corridor as it relates to the Trinity Lakes rail, and a couple of properties in the area want to work with the City for a long-term vision. He reviewed the proposed Interim Zoning category developed by the City Attorney which will address some specific needs for property owners during the vision and planning being conducted by NCTCOG. Mr. Caruthers stated this item came before the Planning and Zoning Commission and they recommend approval.

There being no one to speak, Mayor Wilson closed the public hearing.

Councilmember Meeks moved to approve Ordinance 2564, first reading, an Interim Zoning Overlay. Motion seconded by Councilmember Waldron. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron and Meeks
No: None

6. Conduct a public hearing and consider Ordinance 2565, first reading, to consider SITE-2023-00015 Westdale Hills Community Center, a site plan revision for Lot 4AR, Block 1 Sotogrande Addition, being 1.24 acres located at 1601 Sotogrande Boulevard

Mayor Wilson announced the public hearing to consider Ordinance 2565, first reading, to consider SITE-2023-00015 Westdale Hills Community Center, a site plan revision for Lot 4AR, Block 1 Sotogrande Addition, being 1.24 acres located at 1601 Sotogrande Boulevard and recognized Executive Director of Planning and Development Michelle Lazo who reviewed the proposed case. Ms. Lazo stated the applicant is requesting a site plan revision to demolish the existing strip retail center and construct a new community center. She stated there will be no changes to the access points and reviewed the lighting, floor, and landscape plans. Ms. Lazo also reviewed the elevation of the building and signage.

There being no one else to speak, Mayor Wilson closed the public hearing.

Councilmember Brotherton moved to approve Ordinance 2565, first reading, a Site Plan Revision for Westdale Hills Community Center. Motion seconded by Councilmember McKenzie. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron and Meeks
No: None

OTHER BUSINESS

7. Consider authorizing the city manager to enter into an engineering services contract with Shield Engineering Group, PLLC for Lorean Branch Bank Repair and Stabilization upstream of Cannon Drive

Mayor Wilson recognized Executive Director of Public Works Greg Dickens who reviewed the proposed contract for Lorean Branch Creek just upstream of Cannon Drive. Mr. Dickens noted the erosion escalation on the west slope and reviewed the stabilization products to be utilized, Scourlok and Armormax. He stated the proposed contract is with Shield Engineering Group PLLC, and they have considerable experience with designing these types of erosion control systems. Mr. Dickens stated the total fee for the engineering services is \$65,873.00 and final plans and specifications for this project should be provided within 100 calendar days.

Councilmember McKenzie moved to authorize the city manager to execute the Engineering Services Contract with Shield Engineering Group, PLLC for Lorean Branch Bank Repair and Stabilization upstream of Cannon Drive, for a total fee not to exceed \$65,873.00. Motion seconded by Councilmember Waldron. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron and Meeks
No: None

- 8. Review of upcoming calendar items – City Manager Clay Caruthers reviewed the Future Events Calendar also noting the upcoming Eclipse Event, April 8, at Hurst Community Park. He encouraged everyone to visit the City’s website to learn more about all upcoming events.
- 9. City Council Reports - Items of Community Interest – No reports were given.

PUBLIC INVITED TO BE HEARD – A REQUEST TO APPEAR CARD MUST BE COMPLETED AND RETURNED TO THE CITY SECRETARY TO BE RECOGNIZED. CITIZEN COMMENTS ARE LIMITED TO A MAXIMUM OF 3 MINUTES PER SPEAKER

Mayor Wilson recognized Youth in Government and TCC students in attendance.

EXECUTIVE SESSION in Compliance with the Provisions of the Texas Open Meetings Law, Authorized by Government Code 551.072, deliberation of the purchase, exchange, lease, or value of real property (Pipeline Road Project) and to reconvene in Open Session at the conclusion of the Executive Session to consider and take any necessary action

- 10. Take any and all action necessary ensuing from Executive Session

Councilmember Shepard moved to authorize the city manager to pay up to the appraised value plus associated fees for the property discussed in Executive Session. Motion seconded by Councilmember McKenzie. Motion prevailed by the following vote:

Ayes: Councilmembers Brotherton, Shepard, McKenzie, Waldron and Meeks
 No: None

ADJOURNMENT – The meeting adjourned at 7:19 p.m.

APPROVED this the 26th day of March 2024.

ATTEST:

APPROVED:

 Rita Frick, City Secretary

 Henry Wilson, Mayor



City Council Staff Report

SUBJECT: Conduct a public hearing and consider Ordinance 2564, second reading, amending Chapter 27, Zoning, of the Code of Ordinances of the City of Hurst, Texas, adding a new Section 27-19.1 to create an Interim Zoning District	
Supporting Documents:	
Ordinance 2564 Legal Notice	Meeting Date: 3/26/2024 Department: Development Reviewed by: Michelle Lazo City Manager Review:
Background/Budget Analysis:	
<p>The City is partnering with the North Central Texas Council of Governments to develop a Hurst-Trinity Lakes and State Highway 10 Economic Development Plan. This plan will analyze opportunities for future development on State Hwy. 10 from NE Loop 820 to the TRE/Bell station.</p> <p>The City Attorney recommended the adoption of an Interim Zoning Overlay to allow development on certain properties over five (5) acres for temporary uses for five (5) year period to spur redevelopment along the new rail station.</p>	
Hurst Way/Strategic Priorities:	
Consideration of the Site Plan Revision is a direct representation of Council’s goal for Community and Economic Vitality.	
Recommendation:	
Based on the Planning and Zoning Commission’s vote of 7-0, the recommendation is City Council approve Ordinance 2564, second reading, an Interim Zoning Overlay.	

ORDINANCE 2564

AN ORDINANCE OF THE CITY OF HURST, TEXAS, AMENDING CHAPTER 27, ZONING, OF THE CODE OF ORDINANCES OF THE CITY OF HURST, TEXAS, ADDING A NEW SECTION 27-19.1 TO CREATE AN INTERIM ZONING DISTRICT; PROVIDING A VALIDITY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR INCORPORATION INTO THE CODE OF ORDINANCES; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, Chapter 27, Zoning, of the Code of Ordinances of the City of Hurst, Texas, is also known as the City's "Zoning Ordinance;" and

WHEREAS, the City Council finds that CHAPTER 27: ZONING should be amended to provide for the creation of an interim zoning district; and

WHEREAS, the City's Zoning Commission conducted a public hearing on the 4th day of March, 2024, to review a proposed amendment to the City's Zoning Ordinance, received public comments, and made a recommendation to the City Council concerning the proposed amendment; and

WHEREAS, the City Council conducted a public hearing on the 12th day of March, 2024, to receive the recommendation from the Zoning Commission and public comments concerning a proposed amendment to the Zoning Ordinance; and

WHEREAS, the Zoning Commission and the City Council of the City of Hurst, in compliance with the laws of the State of Texas with reference to the granting of zoning classifications and changes, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Hurst is of the opinion and finds that said zoning change should be granted and that the Zoning Ordinance should be amended; and

WHEREAS, all constitutional, statutory, and legal prerequisites for the passage of this Ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the purpose of this ordinance is to promote the public health, safety, and general welfare of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

SECTION 1. That, all matters stated hereinabove are found to be true and correct and are incorporated herein by reference.

SECTION 2. That, Chapter 27 of the Code of Ordinances, Zoning Ordinance is hereby amended by adding a new Section 27-19.1, Interim Zoning District to read:

27-19.1 INTERIM ZONING DISTRICT

- (a) Purpose of district. The Interim Zoning district ("IZ") is used as a classification for land that is undeveloped or underdeveloped and which due its size, location, geography, or other unique condition(s) is not yet ready to be developed to its full potential. The IZ classification is suitable for the areas where development is premature because of a lack of adequate utilities, capacity or service, or where the ultimate land use has not been determined.
- (b) It is anticipated that land to be zoned IZ will be developed to its full potential in the next five years.
- (c) In order to be eligible to be classified IZ, the land must be at least five acres in size.
- (d) In order to apply for the IZ classification, the applicant must submit a detailed site plan of the proposed interim use and any improvements, including a description of both the proposed use(s) and the proposed timeframe for such use. In no event can the proposed timeframe for use exceed five years. By applying for IZ classification the applicant must agree to the termination of the interim use upon the expiration of the IZ classification. Any IZ ordinance must include an expiration date.
- (e) Land zoned IZ can be temporarily utilized for uses not otherwise allowed by the Zoning Ordinance. Similarly, land zoned IZ can be temporarily exempted from any development restriction as part of the IZ approval process. Any deviation(s) from standard shall expire with the expiration of the IZ ordinance for such land.
- (f) The City reserves the right to review and consider each application for IZ classification on a case-by-case basis.

SECTION 4. Validity. That, all ordinances of the City of Hurst in conflict with the provisions of this ordinance be, and the same are hereby superseded and all other provisions of the ordinances of the City of Hurst not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 5. Severability. That, should any paragraph, sentence, clause, phrase, or word of this ordinance be declared unconstitutional or invalid for any reason, the remainder of this ordinance shall not be affected.

SECTION 6. Incorporation. That, this ordinance shall be deemed to be incorporated into the Code of Ordinances of the City of Hurst, Texas.

SECTION 7. Effective Date. That, this ordinance shall be in effect immediately following its passage, approval and publication as provided by law, and it is accordingly so ordained.

Passed on the first reading on the 12th day of March 2024 by a vote of 5 to 0.

Approved on the second reading on the 26th day of March 2024 by a vote of _
to _.

APPROVED AS TO FORM:

APPROVED:

Matthew C.G. Boyle
City Attorney

Henry Wilson
Mayor

ATTEST:

Rita Frick
City Secretary



LEGAL NOTICE

A PUBLIC HEARING WILL BE HELD BY THE CITY OF HURST CITY COUNCIL ON TUESDAY, MARCH 12, 2024, AT 6:30 P.M. AT THE HURST CITY HALL AT 1505 PRECINCT LINE ROAD TO ADOPT AN INTERIM ZONING CATEGORY AND DESIGNATION IN THE ZONING ORDINANCE AND TO CONSIDER THE APPROVAL OF AN INTERIM ZONING OVERLAY ON LOT 1, BLOCK 1 CENTRAL PARK NORTHEAST ADDITION, BEING 5.08 ACRES LOCATED AT 1425 W. HURST BOULEVARD



City Council Staff Report

SUBJECT: Conduct a public hearing and consider Ordinance 2565, second reading, to consider SITE-2023-00015 Westdale Hills Community Center, a site plan revision for Lot 4AR, Block 1 Sotogrande Addition, being 1.24 acres located at 1601 Sotogrande Boulevard

Supporting Documents:	
Ordinance 2565 Area map Legal notice Ownership data Site plan – Exhibit “A” Photometric plan – Exhibit “B” Landscape plan – Exhibit “C” Building elevation – Exhibit “D” Building signage – Exhibit “E” Proposed monument sign – Exhibit “F” Existing monument – Exhibit “G” Color rendering – Exhibit “H-I”	Meeting Date: 3/26/2024 Department: Development Reviewed by: Michelle Lazo City Manager Review:

Background/Budget Analysis:

An application has been made by Jeff Allen with Westdale Real Estate Investment & Management for a site plan revision on Lot 4AR, Block 1 Sotogrande Addition, being 1.24 acres located at 1601 Sotogrande Boulevard. The property is zoned GB-PD (General Business Planned Development).

The applicant is requesting a site plan revision to demolish the existing strip retail center and construct a new community center with 8,920 sq. ft. for the Westdale Hills apartment communities. This building will office leasing agents from the Westdale Hills communities and have indoor space for rental or general use for residents.

The developer will be installing five (5) new light poles that are 20 ft in height and one that is 10 ft. in height. The lights will be hooded, but in two areas the foot-candle will not exceed 3 lumens at the property line. These areas are adjacent to a parking lot in the complex to the north. No glare will impact the residential units.

The developer will be maintaining all of the landscaping around the perimeter and in the islands on Sotogrande Blvd. They will be adding three (3) Burr Oak, six (6) Chinese Pistache, four (4) Chinquapin Oak, four (4) Desert Willow, four (4) Texas

Redbud, Glossy Abelia, Italian Jasmine, Dwarf Burford Holly, Dwarf Wax Myrtle, Red Yucca, Nellie R. Stevens, Dwarf Maiden Grass, Mondo grass, Muhly grass, Bermuda sod, and river rocks.

The building elevation indicates a brown brick, white and gray stucco, and gray fiber cement siding façade with a standing seam metal roof and large windows.

The developer will be removing the existing pole sign and is requesting a new sign pillar with 15 feet in height. The sign will match the brick of the building and will have aluminum letters and the address. They are also requesting building signs on the west and south side of the building. All building signs will meet the GB zoning requirement.

There is an existing ground sign on the corner of Sotogrande Blvd and Hurst Blvd that will be updated to match the new building.

Hurst Way/Strategic Priorities:

Consideration of the site plan revision is a direct representation of Council’s goal for **Community and Economic Vitality**.

Recommendation:

Based on the Planning and Zoning Commission’s vote of 7-0, the recommendation is City Council **approve Ordinance 2565, second reading, a site plan revision for Westdale Hills Community Center**.

ORDINANCE 2565

AN ORDINANCE ADOPTING A SITE PLAN REVISION ON LOT 4AR, BLOCK 1 SOTOGRADE ADDITION, BEING 1.24 ACRES LOCATED AT 1601 SOTOGRADE BOULEVARD

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and

WHEREAS, the City Council is of the opinion that the site plan herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. **THAT** the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a Site Plan Revision with Exhibits "A- I" on Lot 4AR, Block 1 Sotograde Addition being 1.24 acres located at 1601 Sotograde Boulevard

AND IT IS SO ORDERED.

Passed on the first reading on the 12th day of March 2024 by a vote of 5 to 0.

Approved on the second reading on the 26th day of March 2024 by a vote of _ to _.

ATTEST:

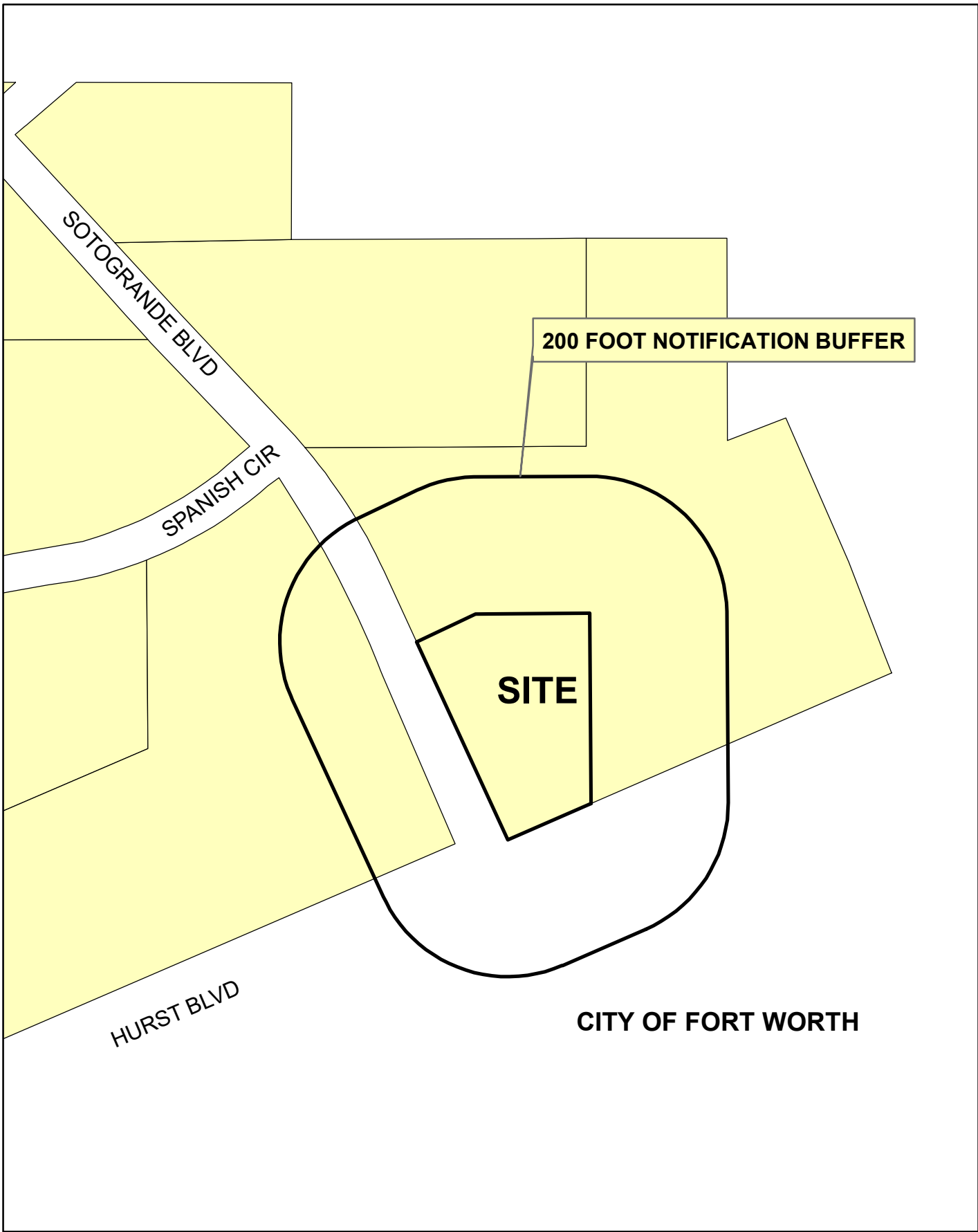
CITY OF HURST

Rita Frick, City Secretary

Henry Wilson, Mayor

Approved as to form and legality:

City Attorney



CASE: SITE-2023-00015
 Westdale Hills
 Community Center

LEGAL DESCRIPTION:
 Lot 4AR, Block 1 Sotogrande Addition

AGENDA DATE:
 0312/2024

REQUESTED ACTION:
 Site Plan Revision

LOCATION:
 1601 Sotogrande Blvd.



SITE-2023-00015

LEGAL NOTICE

A PUBLIC HEARING WILL BE HELD BY THE HURST CITY COUNCIL ON TUESDAY, MARCH 12, 2024 AT 6:30 P.M. AT THE HURST CITY HALL AT 1505 PRECINCT LINE ROAD TO CONSIDER A SITE PLAN REVISION FOR LOT 4AR, BLOCK 1 SOTOGRADE ADDITION, BEING 1.24 ACRES LOCATED AT 1601 SOTOGRADE BOULEVARD

SITE-2023-00015 Westdale Hills
Community Center



SITE-2023-00015

**APPLICATION FOR SITE PLAN
OWNERSHIP DATA**

TO THE HURST PLANNING AND ZONING COMMISSION:

The following described real property is under application for approval of a zoning change.

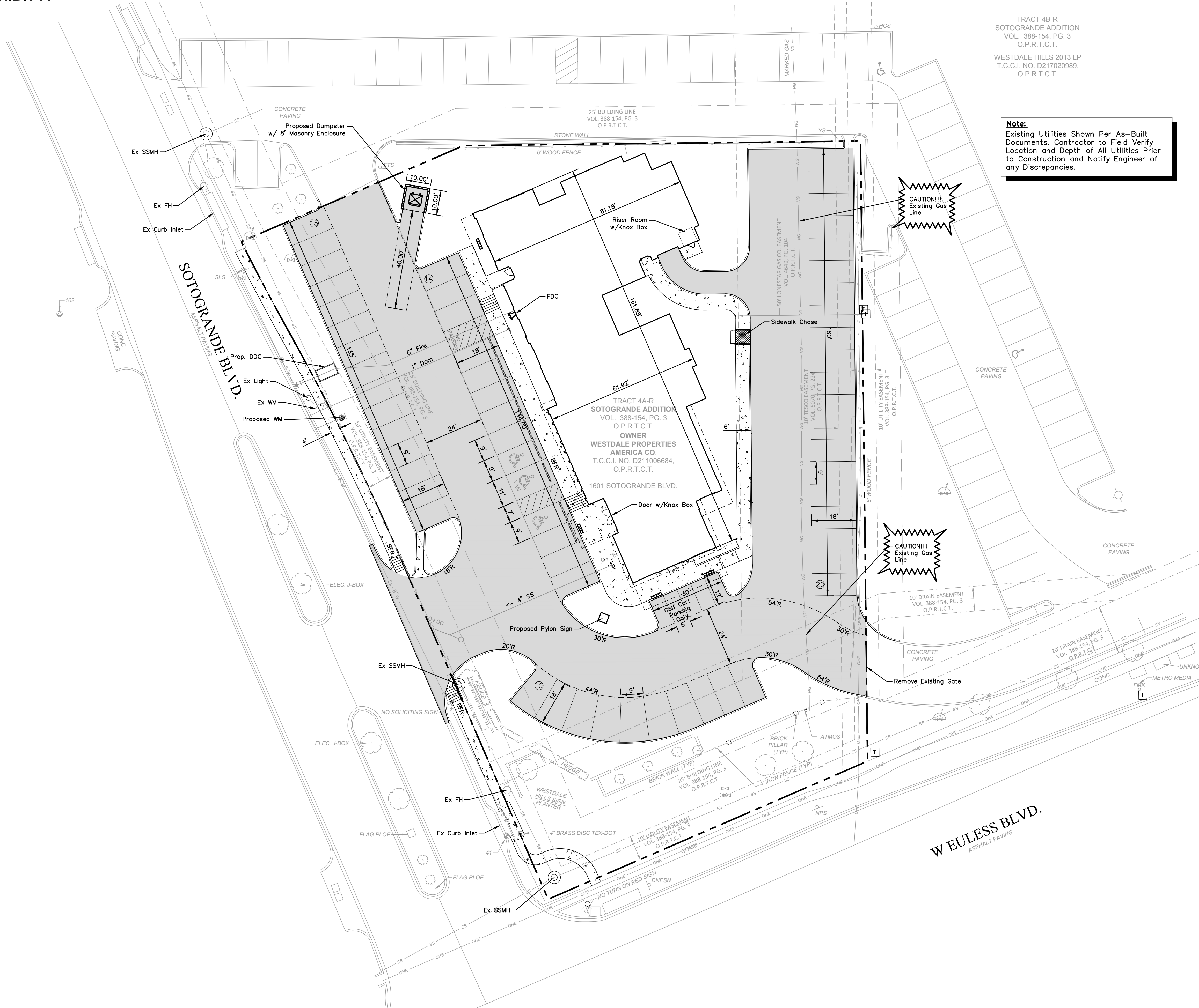
Westdale Hills Community Center

Lot 4AR, Block 1 Sotogrande Addition, being 1.24 acres located at 1601 Sotogrande Blvd.

The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a site plan:

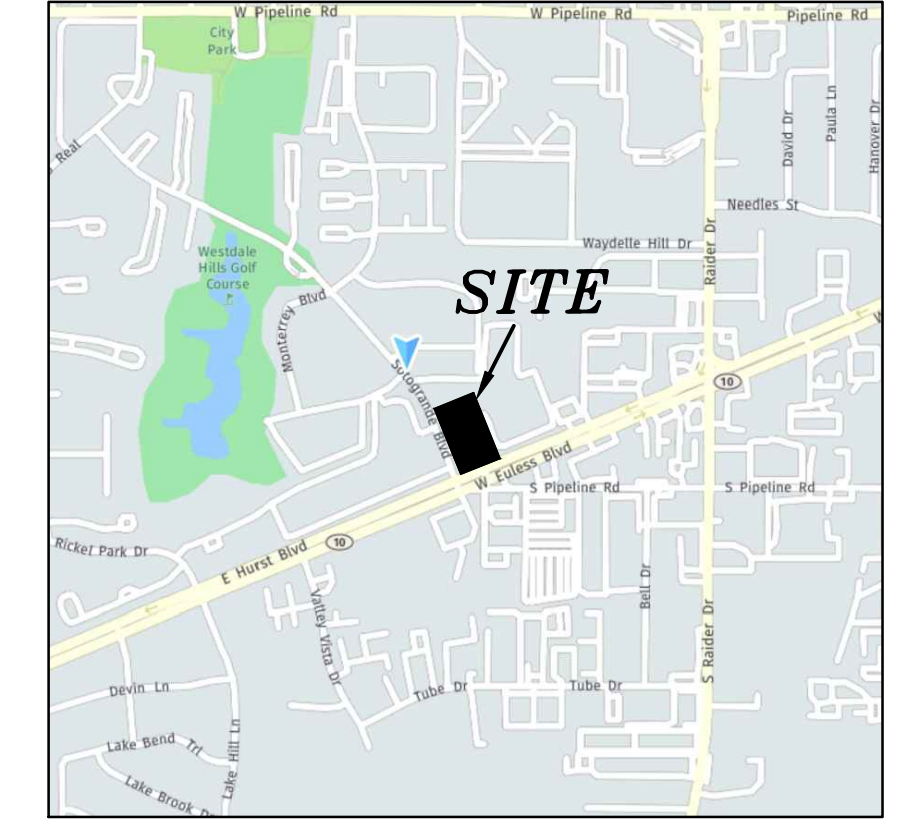
PROPERTY OWNER	LOT	BLK	ADDITION	ADDRESS
WESTDALE HILLS 2013 LP	4BR1	1	SOTOGRADE ADDITION	2550 PACIFIC AVE STE 1600 DALLAS, TX 75226
WESTDALE PROPERTIES AMERICA	4AR1	1	SOTOGRADE ADDITION	2550 PACIFIC AVE STE 1600 DALLAS, TX 75226
WESTDALE HILLS 2013 LP	6R2A	1	SOTOGRADE ADDITION	2550 PACIFIC AVE STE 1600 DALLAS, TX 75226
CITY OF FORT WORTH				200 TEXAS ST FORT WORTH, TX 76102
OCCUPANT	4BR1	1	SOTOGRADE ADDITION	1629 SOTOGRADE BLVD HURST, TX 76053
OCCUPANT	4AR1	1	SOTOGRADE ADDITION	1601 SOTOGRADE BLVD HURST, TX 76053
OCCUPANT	6R2A	1	SOTOGRADE ADDITION	1830 SOSGRANDE BLVD HURST, TX 76053

EXHIBIT A



TRACT 4B-R
SOTOGRADE ADDITION
VOL. 388-154, PG. 3
O.P.R.T.C.T.
WESTDALE HILLS 2013 LP
T.C.C.I. NO. D217020989,
O.P.R.T.C.T.

Note:
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.



- LEGEND**
- Firelane
 - Proposed Sidewalk
 - Proposed Wheel Stop Typical
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Barrier Free Ramp

Site Description:
All of Tract 4A-R, Sotograde Addition, an addition to the City of Hurst, Tarrant County, Texas, according to the plat filed for record in Volume 388-154, Page 3, Plat Records, Tarrant County, Texas.

SYNOPSIS

Address:	1601 Sotograde Blvd. Hurst, Texas 76053
Zoning:	GB
Proposed Use:	Community Center
Lot Area:	1.24 Acres (53,853 sf)
Building Area:	Total Bldg Area: 8,920 sf
Lot Coverage:	16.56% (Total Bldg Area 8,920 sf)
Building Height:	29'-5"
Parking Area:	10,021 sf
Parking Provided Total:	59 Parking Spaces (2 HC)

Variance:
Request To Reduce The Building Setback To 0' On The North Property Line.

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.

ARCHITECT:
HEDK Architects
4595 Excel Parkway
Addison, Texas 75001
Phone (214) 520-8878
Contact: Jaron Daily

SURVEYOR:
Spooer & Associates
309 Byers Street, Suite 100
Euleless, Texas 76039
Phone (817) 685-8448
Contact: Eric Spooer

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.



BENCHMARK:

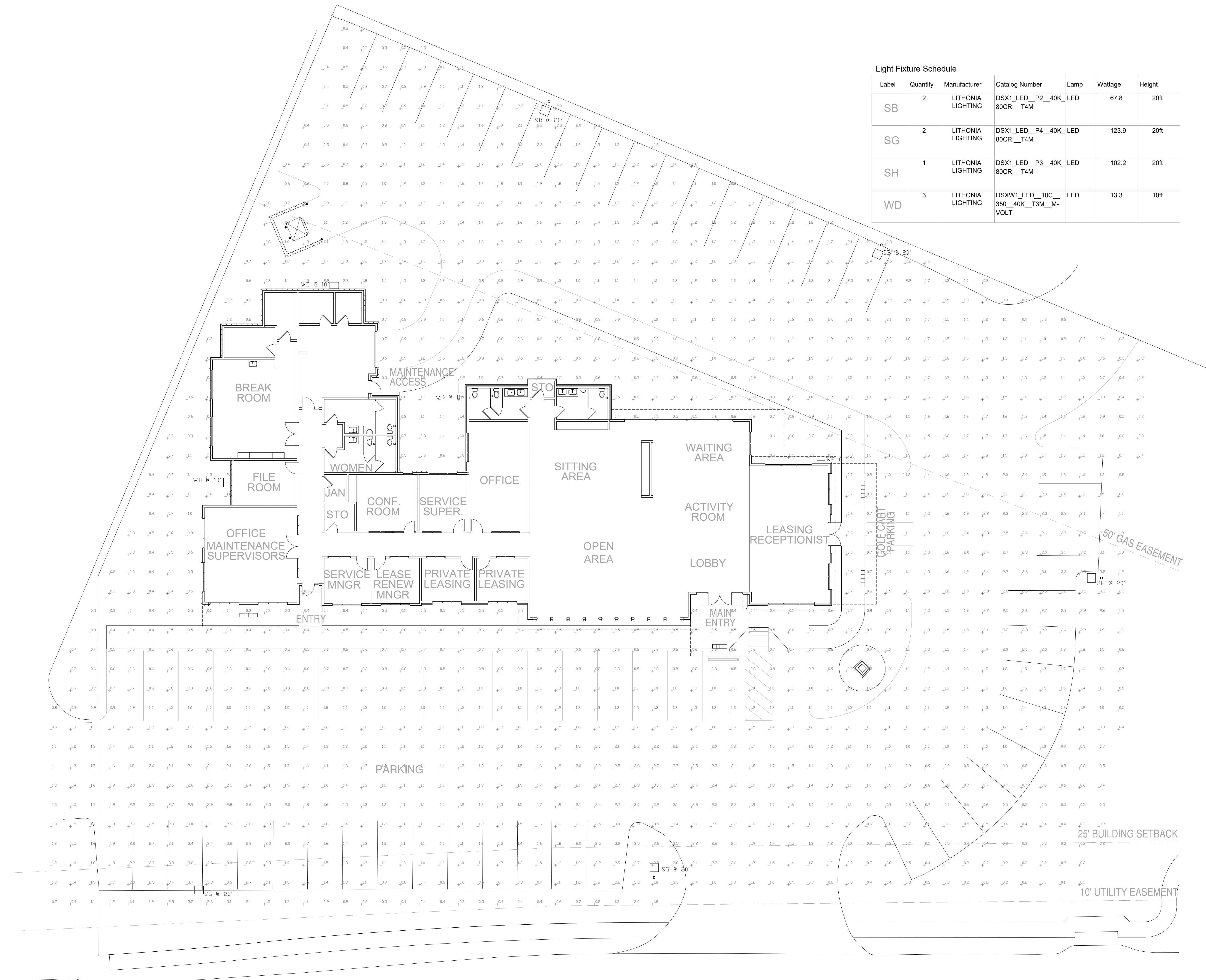
City of Hurst BM 41 -	Northing: 6,983,012.08	Elev. 562.35'
	Easting: 2,386,767.63	
X Cut Set -	Northing: 6,982,924.14	Elev. 564.32'
	Easting: 2,386,826.13	
5/8" CIRS -	Northing: 6,983,021.12	Elev. 566.58'
"S&A CONTROL"	Easting: 2,387,075.08	
X Cut Set -	Northing: 6,983,222.31	Elev. 559.03'
	Easting: 2,386,587.69	

Issue Dates:	Revision & Date:
1 11/15/2023	1
2 01/22/2024	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS		
1720 W. Virginia Street		McKinney, Texas 75069
972.562.4409		Texas P.E. Firm No. F-5935
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

SITE PLAN		Sheet No.
WESTDALE HILLS MARKETPLACE		SP
WESTDALE REAL ESTATE INVESTMENT & MGMT		Project No.
Hurst, Texas		23062

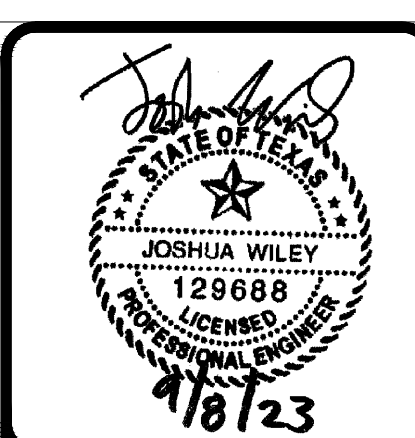
WESTDALE HILLS MARKETPLACE



Light Fixture Schedule

Label	Quantity	Manufacturer	Catalog Number	Lamp	Wattage	Height
SB	2	LITHONIA LIGHTING	DSX1_LED_P2_40K_80CRI_T4M	LED	67.8	20ft
SG	2	LITHONIA LIGHTING	DSX1_LED_P4_40K_80CRI_T4M	LED	123.9	20ft
SH	1	LITHONIA LIGHTING	DSX1_LED_P3_40K_80CRI_T4M	LED	102.2	20ft
WD	3	LITHONIA LIGHTING	DSXW1_LED_10C_350_40K_T3M_M-VOLT	LED	13.3	10ft

1 SITE PLAN
SCALE: 1" = 40'-0"

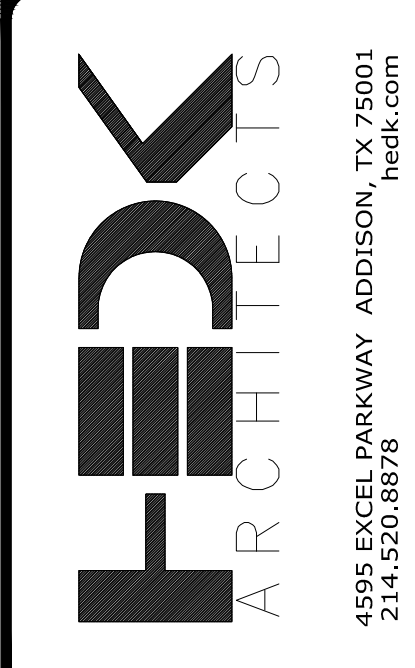


REVISIONS

No.	Description

WESTDALE WELCOME CENTER
 HURST, TEXAS
 SCHEMATIC

PD SUBMITTAL
 09-08-2023



DATE
 09-08-2023

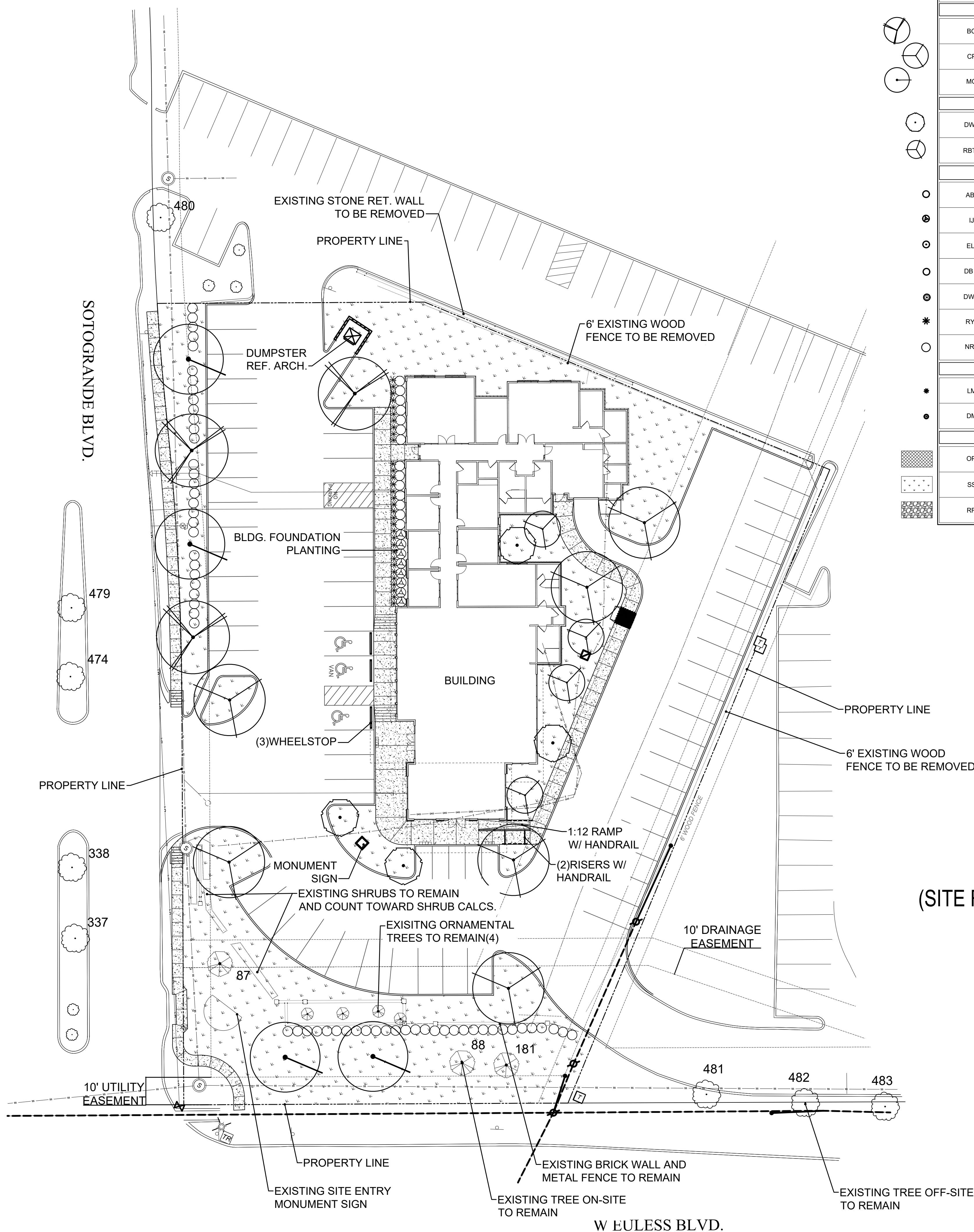
PROJECT
 22196

SHEET NUMBER

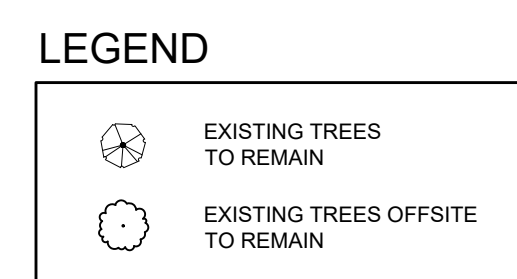
E1-01

SITE PLAN

STATE HIGHWAY 10



SUMMARY PLANT LEGEND					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	REMARKS
SHADE TREES					
BO	Burr Oak	Quercus macrocarpa	3	3" Cal.	10'-12' Ht.
CP	Chinese Pistache	Pistacia chinensis	6	3" Cal.	10'-12' Ht.
MO	Chinquapin Oak	Quercus muhlenbergii	4	3" Cal.	10'-12' Ht.
ORNAMENTAL TREES					
DW	Desert Willow	Chilopsis linearis	4	Single Trunk	6'-8' Ht.
RBT	Texas Redbud	Cercis canadensis 'Texas'	4	Multi-trunk, 3-5 canes, min. 1" cal. per cane	6'-8' Ht.
SHRUBS (3'+ Height)					
AB	Glossy Abelia	Abelia x grandiflora	14	3 Gal. 36" O.C.	Well branched, full to ground 18"-24" Ht.
IJ	Italian Jasmine	Jasminum humile	8	3 Gal. 36" O.C.	Well branched, full to ground 18"-24" Ht.
EL	Eleagnus	Eleagnus macrophylla	-	3 Gal. 36" O.C.	Well branched, full to ground 18"-24" Ht.
DB	Dwarf Burford Holly	Ilex cornuta 'Burfordii'	70	3 Gal. 36" O.C.	Well branched, full to ground 18"-24" Ht.
DWM	Dwarf Wax Myrtle	Myrica pusilla	-	3 Gal. 36" O.C.	Well branched, full to ground 18"-24" Ht.
RY	Red Yucca	Hesperaloe parviflora	2	3 Gal. 36" O.C.	Well branched, full to ground 18"-24" Ht.
NR	Nellie R. Stever's Holly	Ilex x 'Nellie R. Stever's'	-	3 Gal. 36" O.C.	Well branched, full to ground 18"-24" Ht.
SHRUB-LIKE GRASS AND GROUNDCOVERS					
LM	Lindheimer Muhly Grass	Muhlenbergia lindheimeri	36	1 Gal. 36" O.C.	
DM	Dwarf Maiden Grass	Miscanthus sinensis	12	1 Gal. 24" O.C.	
GROUNDCOVERS					
OP	Mondo Grass	Ophiopogon japonicus	-SF	4" Pots	12" O.C.
SS	Solid Bermuda Sod	Cynodon dactylon	-SF	Sod	
RR	River Rock		-SF		



TAG #	DESCRIPTION
87	20" OAK
88	14" OAK
181	30" MT OAK
337	20" OAK
338	26" OAK
474	24" OAK
479	20" OAK
480	14" OAK
481	12" ELM
482	12" ELM
483	14" ELM

LANDSCAPE REQUIREMENTS

GROSS SITE AREA: 54,014 SF
 BUILDING AREA: 9,023 SF

LANDSCAPE AREA PERCENTAGE:
 REQUIRED: AN AREA NOT LESS THAN 15% OF THE TOTAL LOT AREA SHALL BE LANDSCAPED.
 54,014 SF(GROSS SITE AREA) - 9,023 SF(BUILDING) = 44,991 SF x 15% (15) = 6,748 SF
 PROVIDED: 9,023 TOTAL SF OF LANDSCAPE AREA

LANDSCAPE SETBACK:
 THERE SHALL BE A LANDSCAPE SETBACK AREA HAVING A MINIMUM WIDTH OF 15 FT. ADJACENT TO ALL PUBLIC STREET RIGHTS-OF-WAY.

REQUIRED:

A. **REQUIRED TREES:** WITHIN LANDSCAPE SETBACK, 1 LARGE TREE SHALL BE PLANTED PER 50 FT. OR FRACTION THEREOF OF STREET FRONTAGE. EXISTING TREES SITUATED WITHIN THE LANDSCAPE EDGE MAY BE INCLUDED IN THIS CALCULATION. TWO ORNAMENTAL TREES MAY BE SUBSTITUTED FOR A LARGE TREE.

B. **REQUIRED SHRUBS:** 10 SMALL SHRUBS SHALL BE PLANTED PER 50 LINEAR FT., OR FRACTION THEREOF, OF STREET FRONTAGE. SHRUBS PLANTED FOR PARKING LOT SCREENING MAY BE USED TO SATISFY THIS REQUIREMENT.

SOTOGRADE BLVD. 292 LINEAR FT. - 50' ENTRY ROADWAY = 247
 247/50 = 4.8 TREES x 10 SHRUBS = 48 REQUIRED SHRUBS

W. EULESS BLVD. 140 LINEAR FT.
 140/50 = 2.8 TREES x 10 SHRUBS = 28 REQUIRED SHRUBS

C. **NOTE:** REQUIRED LANDSCAPE SETBACK LANDSCAPING SHALL NOT COUNT TOWARDS PARKING LOT SCREENING OR PARKING AREA LANDSCAPE REQUIREMENTS.

PROVIDED: (4) PROPOSED TREES AND 1 EXISTING TREE PLUS (29) PROPOSED AND EXISTING SHRUBS ALONG STREET FRONTAGE SOTOGRADE BLVD.
 (2) PROPOSED TREES AND 2 EXISTING TREES PLUS (30) SHRUBS ALONG STREET FRONTAGE W. EULESS BLVD.

LANDSCAPING PARKING LOTS:
 PARKING LOTS SHALL BE LANDSCAPED IN ACCORDANCE WITH THE FOLLOWING REGULATIONS.

REQUIRED:

A. ALL LANDSCAPING WITHIN THE PARKING LOT SHALL BE LOCATED WITHIN A LANDSCAPE ISLAND. THE ISLAND SHALL BE DELINEATED FROM THE SURROUNDING PAVED AREA BY A CURB OR BARRIER OF NOT LESS THAN SIX INCHES IN HEIGHT AROUND THE PERIMETER OF THE ISLAND.

B. ONE LARGE TREE SHALL BE PLANTED FOR EVERY 20 PARKING SPACES. NO PARKING SPACE SHALL BE LOCATED MORE THAN 100 FT. FROM A LARGE TREE WITHIN A LANDSCAPED ISLAND. ALL ISLANDS SHALL BE LANDSCAPED WITH AT LEAST GROUNDCOVER AND ONE LARGE TREE. (67 PARKING SPACES / 20 = 3 REQUIRED TREES)

C. EACH DRIVE APPROACH FOR A PROPERTY SHALL BE CONSTRUCTED WITH PARKING ENTRANCE ISLANDS ON EACH SIDE OF THE DRIVEWAY. THE PARKING ENTRANCE ISLAND SHALL BE 18" IN LENGTH BY 6" WIDE. THE LANDSCAPE ISLAND SHALL BE PLANTED WITH SMALL SHRUBS PLACED AT THREE-FOOT CENTERS.

D. ALL SHRUBBERY, FLOWERING PLANTS, AND TREES PLANTED IN PARKING LOT ISLANDS OR ADJACENT TO PARKING LOTS SHALL BE SET BACK TWO AND ONE-HALF FEET FROM ANY CURB PLACED WHERE VEHICLES MAY FACE

E. ALL PARKING LOTS MUST BE 5% LANDSCAPED. THIS PERCENTAGE COUNTS TOWARD THE OVERALL LANDSCAPE REQUIREMENT FOR THE LOT.

PROVIDED: (4 CANOPY TREES AND 2 ORNAMENTAL TREES) PARKING LOT INTERIOR TREES

BUFFER REQUIREMENTS:

REQUIRED:

1. NON-RESIDENTIAL ZONING ADJACENT TO SINGLE FAMILY ZONING SHALL PROVIDE THE FOLLOWING...

A. A MASONRY SCREENING WALL NOT LESS THAN 6 FT. IN HEIGHT

B. A MINIMUM OF ONE LARGE TREE PLANTED PER EACH 30 LINEAR FEET OF BUFFER AREA

C. A MINIMUM OF 40% OF THE PROVIDED LARGE TREES SHALL BE EVERGREEN

PROVIDED: EXISTING 6' WOOD FENCE IN LIEU OF MASONRY SCREENING WALL

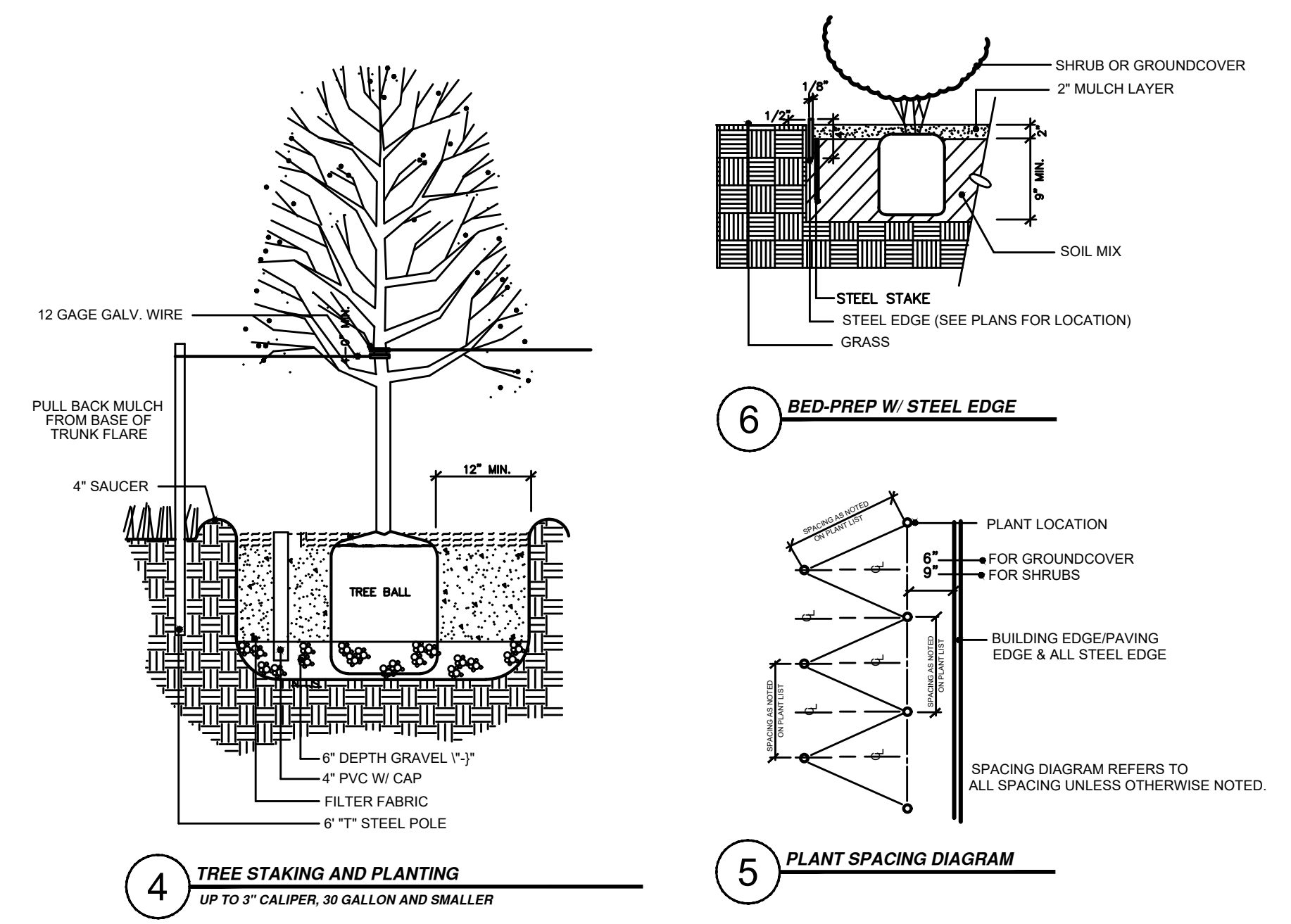
GENERAL MAINTENANCE

A. REQUIRED PLANT MATERIALS MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY REQUIRED PLANT THAT DIES OR IS REMOVED MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THIS ARTICLE AND THE APPROVED LANDSCAPE PLAN, IF ANY, WITHIN 90 DAYS AFTER NOTIFICATION BY THE CITY.

B. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER OR HIS AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED PLANT MATERIALS IN A UTILITY EASEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER, IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN A UTILITY EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE PLANT MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF, NONETHELESS, SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.

IRRIGATION NOTE:

UNDERGROUND IRRIGATION SYSTEM PLANS DESIGNED BY A LICENSED IRRIGATOR WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.



LANDSCAPE PLAN (CITY REQ'S)

SCALE: 1"=20'-0" GRAPHIC SCALE IN FEET

ISSUES:

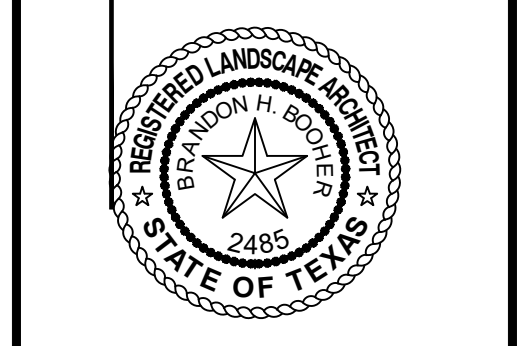
09-25-23	CITY SUBMITTAL
01-12-24	CITY RE-SUBMITTAL

REVISIONS:

CLIENT:
 HEDK Architects
 4595 Excel Parkway
 Addison, TX 75001

WESTDALE WELCOME CENTER
 HURST, TEXAS

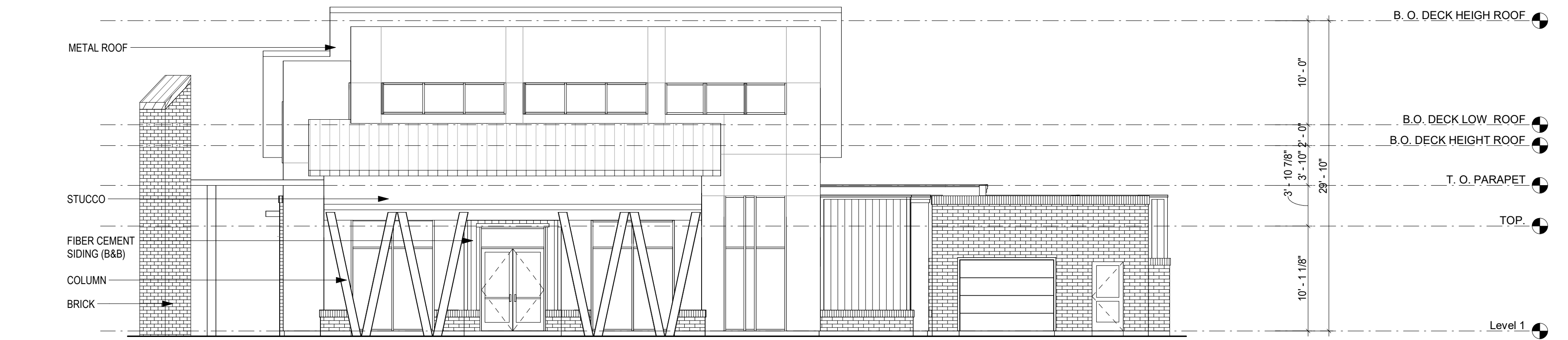
mgt
 landscape architects
 MEKKS DESIGN GROUP, INC.
 1755 N. COLLINS BLVD., SUITE 300
 RICHARDSON, TX 75080
 PH (972) 690-7474
 F (972) 690-7878



ISSUE FOR REVIEW
 Westdale Welcome Center
 HURST, TEXAS
 JOB NUMBER: HEDK-2304

LANDSCAPE PLAN (CITY REQ'S)
 LP0.01

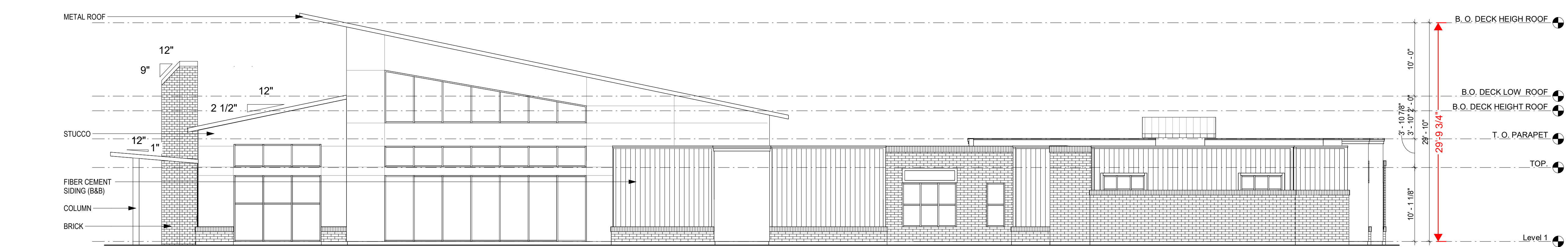
EXHIBIT D



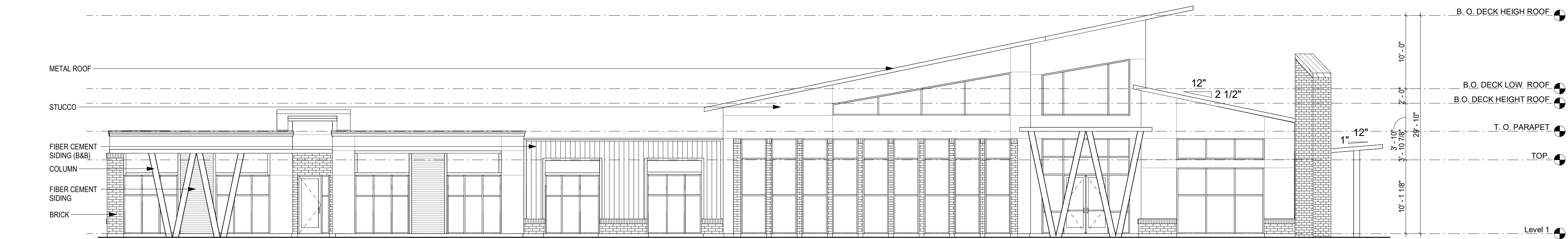
4 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"

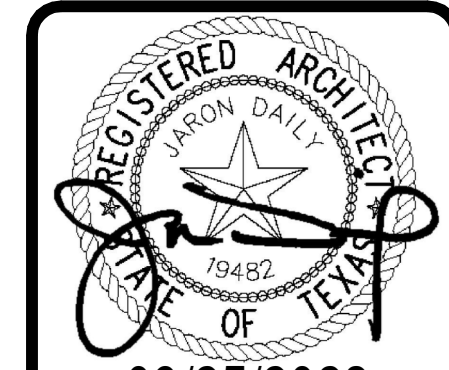


2 SOUTH ELEVATION
1/8" = 1'-0"



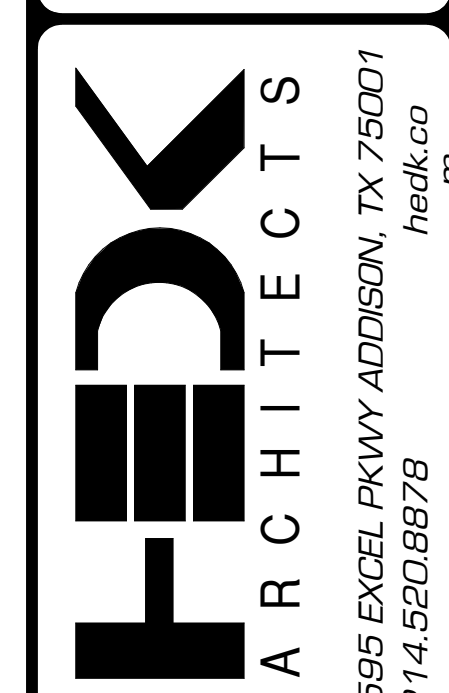
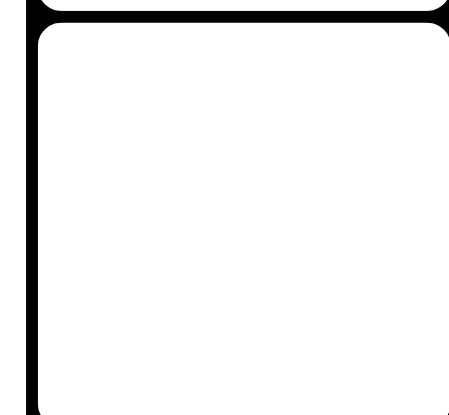
1 NORTH ELEVATION
1/8" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT MATERIALS		ELECTRIC METER LOCATION	WALL PACK
	LPS FIBER CEMENT LAP SIDING 10" EXPOSURE	EXT. SCONCE	
	LPS FIBER CEMENT LAP SIDING 6" EXPOSURE	BLDG. SIGNAGE	
B&B BOARD & BATTEN			
FCP FIBER CEMENT PANEL			
ROOF SHINGLES 30 YR COMP. (30 LB)			
		<p>T.O.H. = TOP OF HEEL T.O.P. = TOP OF PLATE T.O.D. = TOP OF DECKING T.O.F. = TOP OF FOUNDATION</p>	
		<p>NOTES</p> <ul style="list-style-type: none">MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS.WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES. EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN SPOULTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT.PROVIDE CITY/ FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS.REFER TO SITE PLAN FOR ANSI UNIT LOCATIONS	



REVISIONS	

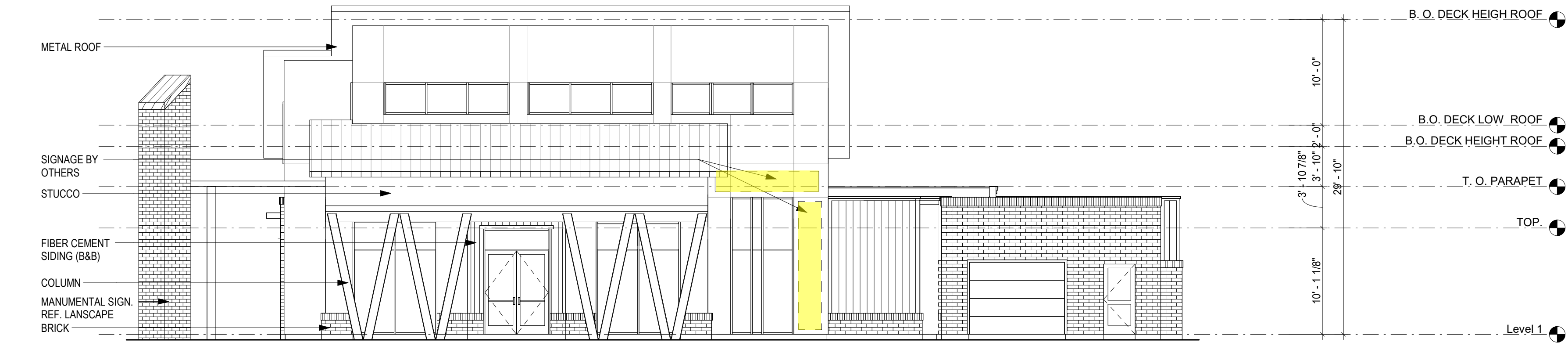
WESTDALE WELCOME CENTER
HURST, TEXAS
SCHEMATIC



DATE	09/25/2023
PROJECT	22196
SHEET NUMBER	A4-00
ELEVATIONS	

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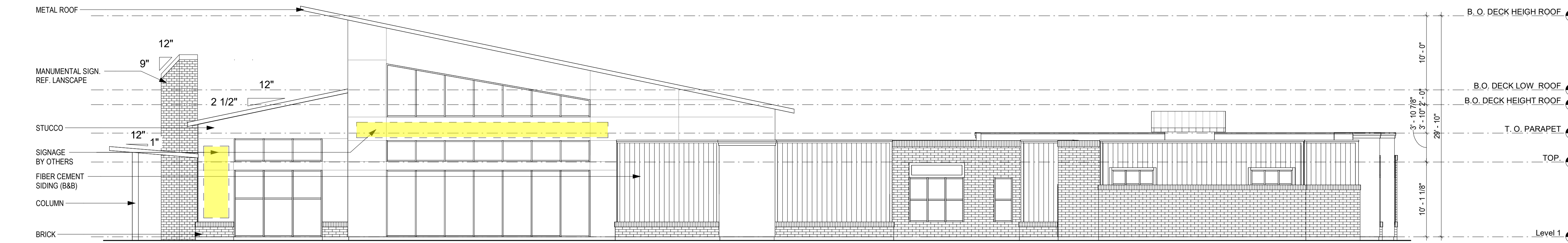
EXHIBIT E



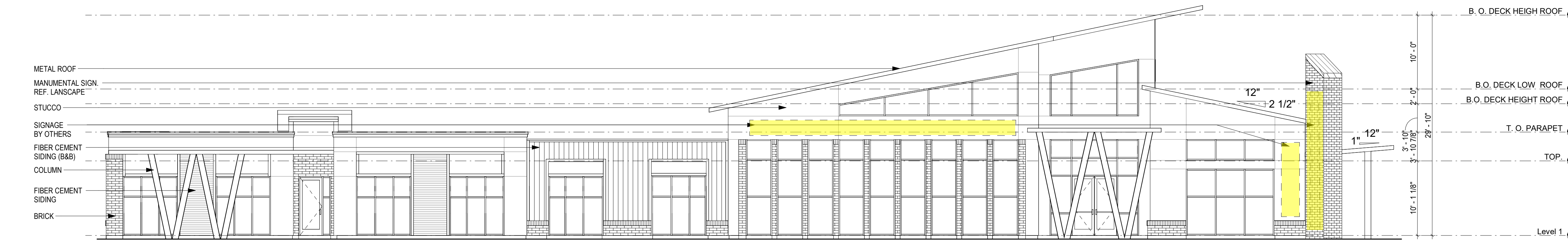
④ WEST ELEVATION
1/8" = 1'-0"



③ EAST ELEVATION
1/8" = 1'-0"



② SOUTH ELEVATION
1/8" = 1'-0"

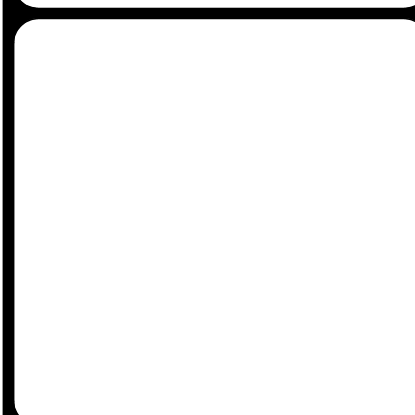


① NORTH ELEVATION
1/8" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT MATERIALS			
[Symbol]	LPS FIBER CEMENT LAP SIDING 10' EXPOSURE	[Symbol]	ELECTRIC METER LOCATION
[Symbol]	LPS FIBER CEMENT LAP SIDING 6' EXPOSURE	[Symbol]	WALL PACK
[Symbol]	B&B BOARD & BATTEN	[Symbol]	EXT. SOONCE
[Symbol]	FCP FIBER CEMENT PANEL	[Symbol]	BLDG. SIGNAGE
[Symbol]	ROOF SHINGLES 30 YR COMP. (30 LB)		
NOTES			
<ul style="list-style-type: none"> MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PAVING AREA, AND ON A MINIMUM OF THREE SIDES. EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALLIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT. PROVIDE CITY/FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS. REFER TO SITE PLAN FOR ANSI UNIT LOCATIONS 			

09/25/2023	
REVISIONS	

WESTDALE WELCOME CENTER
 HURST, TEXAS
 SCHEMATIC

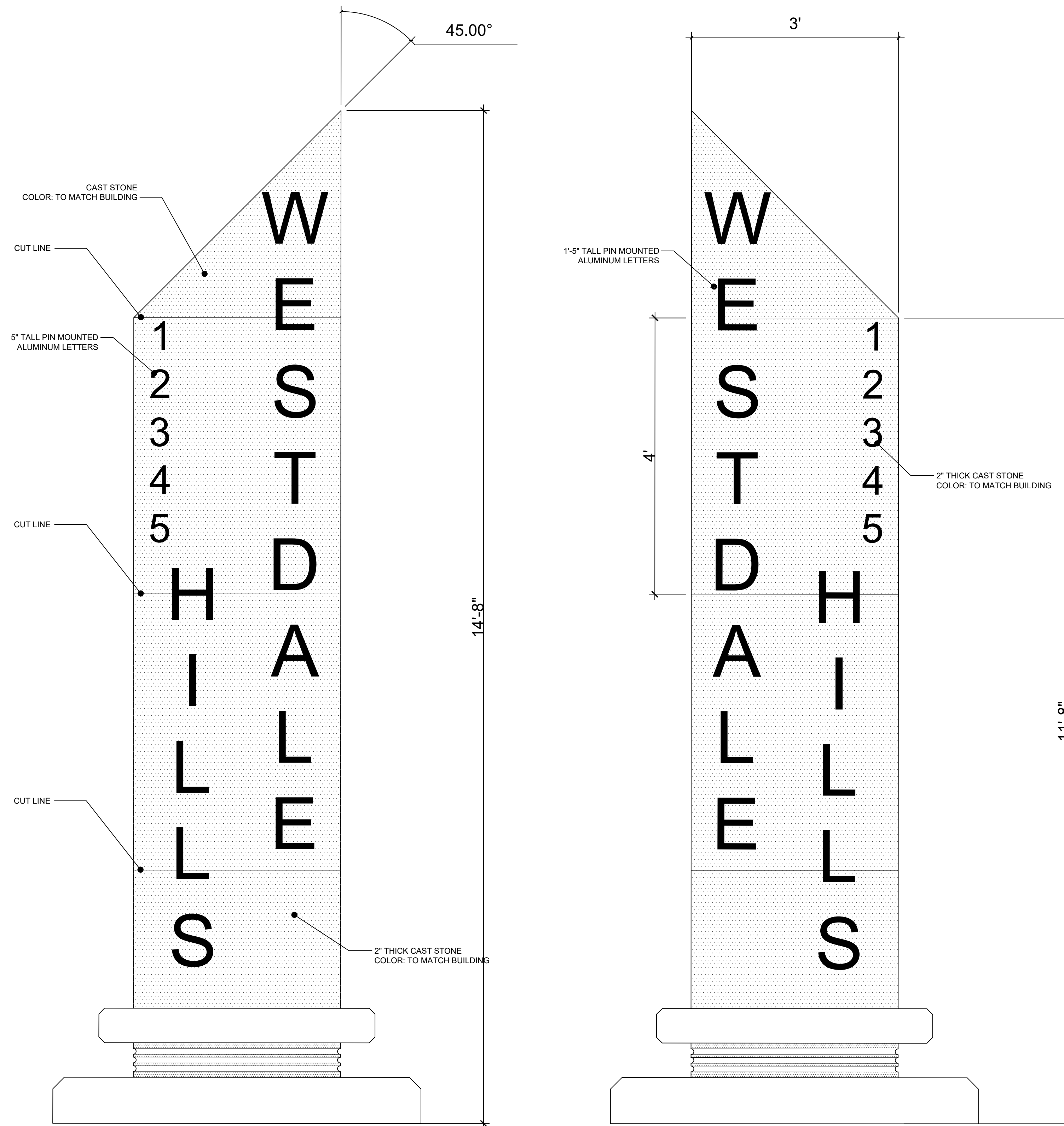


HEDK
 ARCHITECTS
 4596 EXCEL PKWY ADDISON, TX 75001
 214.520.8878
 hedk.co

DATE	09/25/2023
PROJECT	22196
SHEET NUMBER	A4-00
ELEVATIONS	

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EXHIBIT F

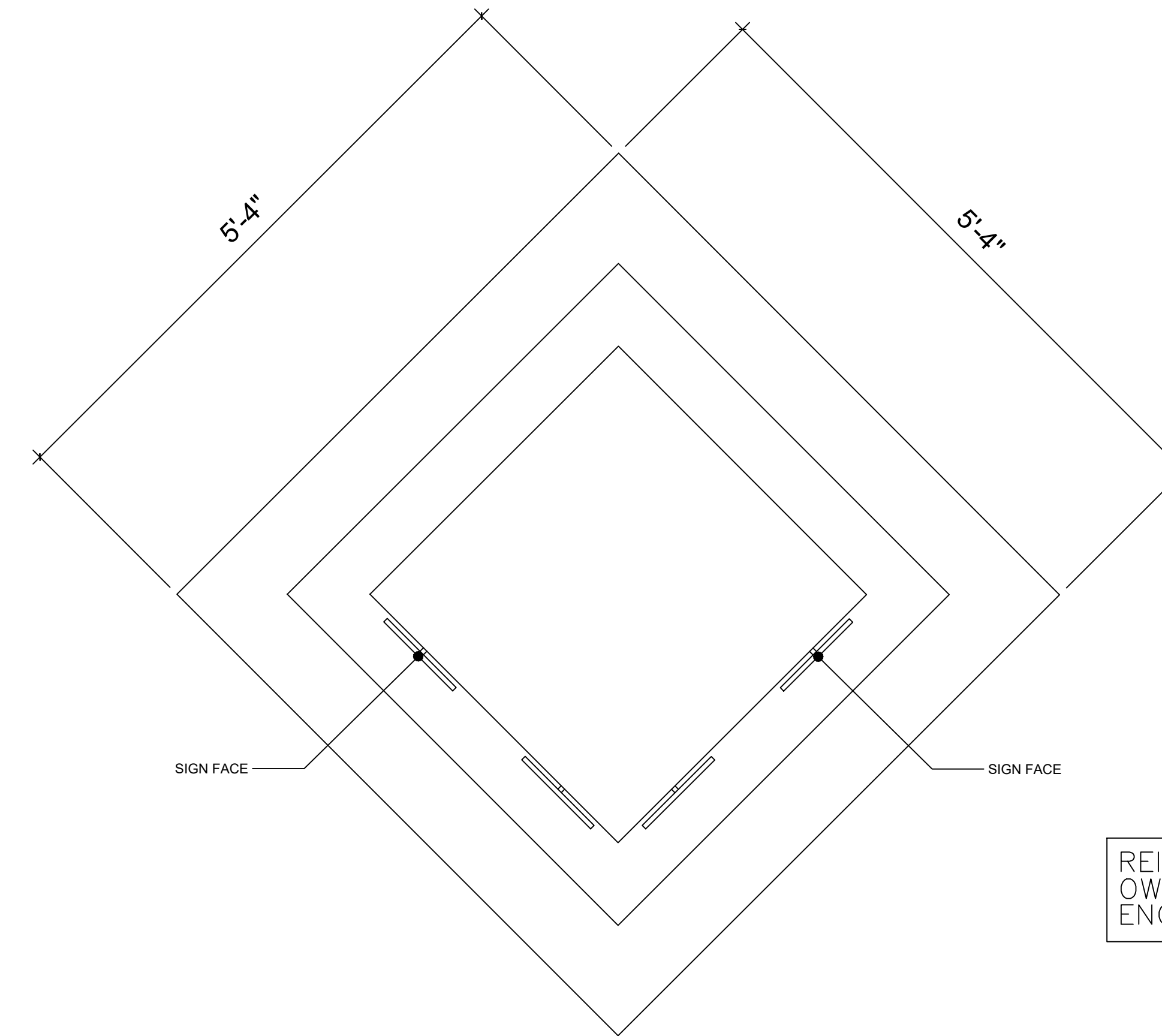


ELEVATION

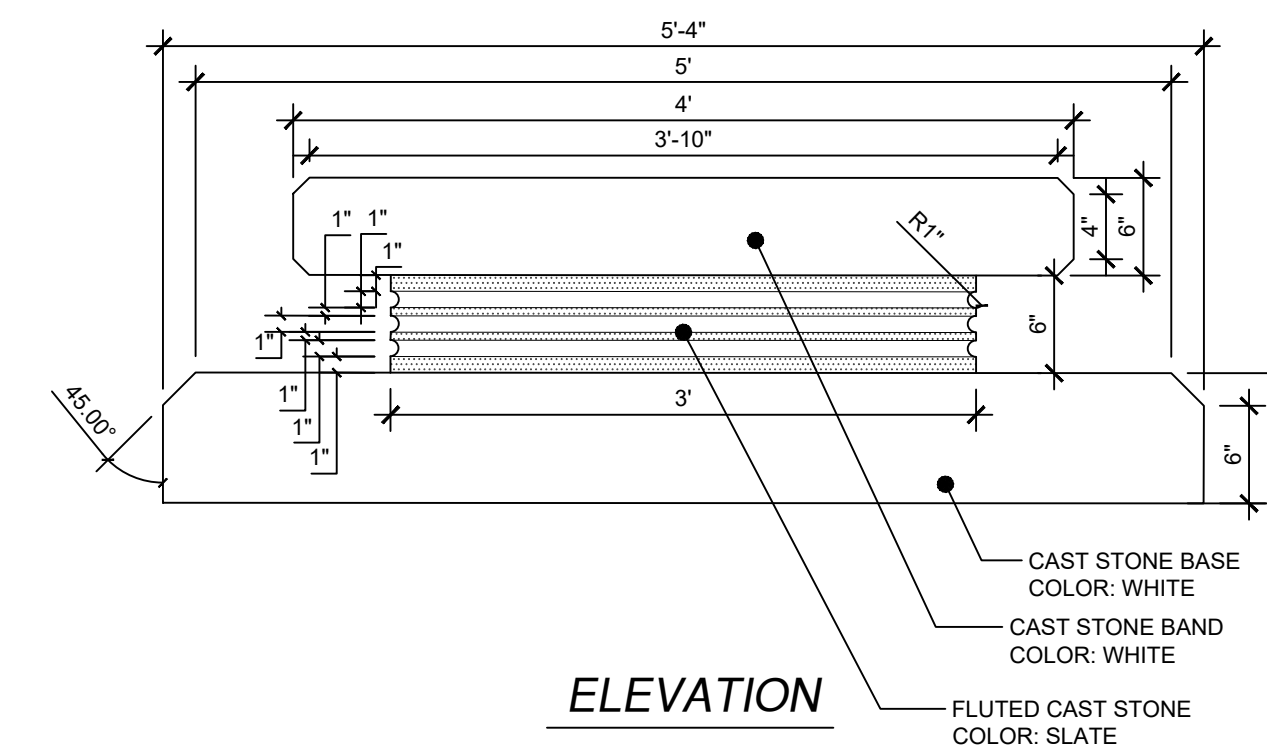
ELEVATION

1 ENTRY MONUMENT 1"=1'-0"

REINFORCEMENT BY OWNER STRUCTURAL ENGINEER.



2 MONUMENT SIGN ORIENTATION 1"=1'-0"



3 ENTRY MONUMENT SIGN BASE 1"=1'-0"

ELEVATION

REINFORCEMENT BY OWNER STRUCTURAL ENGINEER.

ISSUES:

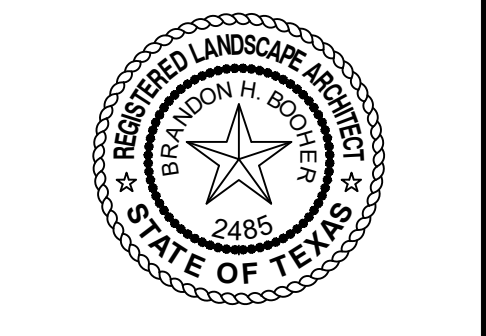
09-08-23	30% PROGRESS SET

REVISIONS:

CLIENT:
 HEDK Architects
 4595 Excel Parkway
 Addison, TX 75001

WESTDALE WELCOME CENTER
 HURST, TEXAS

mgt
 landscape architects
 MEEKS DESIGN GROUP, INC.
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 F (972) 690-7878



ISSUE FOR REVIEW
 Westdale Welcome Center
 HURST, TEXAS
 JOB NUMBER: HEDK-2304

CONSTRUCTION
 DETAILS
 L1.02



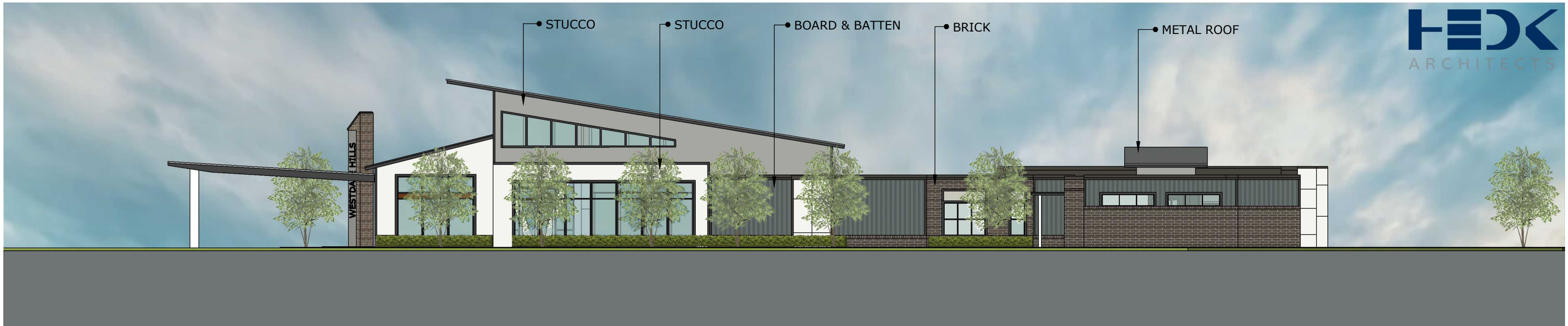
W
WESTDALE HILLS
A MASTER PLANNED RESIDENTIAL GOLF COMMUNITY





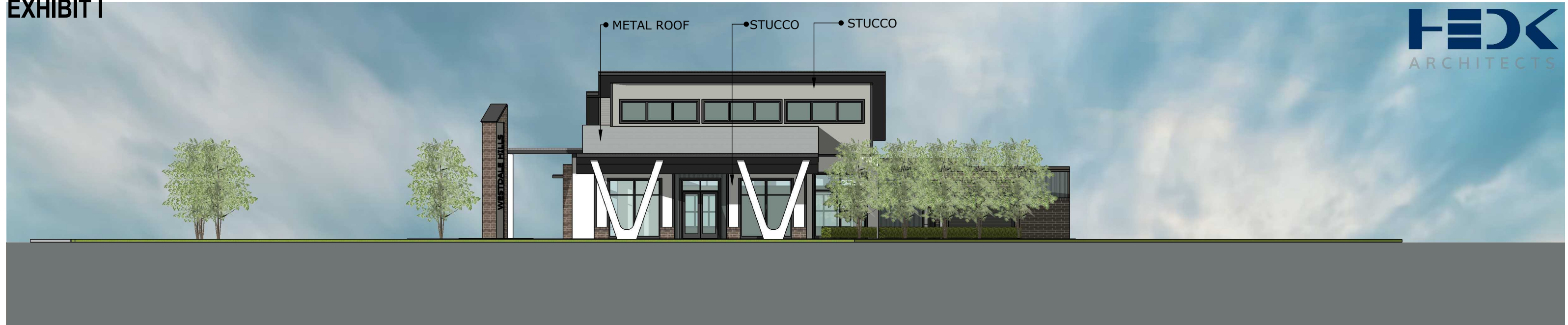
FRONT ELEVATION

SCALE: 1/16" = 1'-0"



REAR ELEVATION

SCALE: 1/16" = 1'-0"



EAST SIDE ELEVATION

SCALE: 1/16" = 1'-0"



WEST SIDE ELEVATION

SCALE: 1/16" = 1'-0"



City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into an annual contract with Vulcan Inc. for Traffic Sign Blanks	
Supporting Documents:	
	Meeting Date: 3/26/2024 Department: Public Works Reviewed by: Gregory W. Dickens City Manager Review:
Background/Budget Analysis:	
<p>The City Council appropriates monies on an annual basis for purchasing sign blanks used in the fabrication for making signs. Using standard purchasing procedures, this year the FY2024 Traffic Sign Blanks were bid as an annual contract that may be renewed, at the City’s option, for four additional twelve-month periods.</p> <p>Twelve sealed bids for the FY2024 Traffic Sign Blanks arrived and opened on February 27, 2024. Vulcan Inc. dba Vulcan Signs of Foley, AL submitted the lowest responsive bid of \$4,874.80. Funds are available in the Public Works Operating Budget. Staff will not exceed the budgeted amount of \$8,000.</p>	
Hurst Way/Strategic Priorities:	
<p>Undertaking these street improvements is directly representative of the Council’s goals of Financial Sustainability and Infrastructure.</p>	
Recommendation:	
<p>Staff recommends City Council authorize the city manager to enter into an annual contract with Vulcan Inc. as the primary vendor during the next 12 months, with the City’s option to renew for four additional 12-month periods.</p>	



City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into an implementation project with Waypoint Solutions to provide software, hardware, and professional services to implement multi-factor authentication in the City

Supporting Documents:

Meeting Date: 3/26/2024

Department: Information Technology

Reviewed by: Clayton Fulton

City Manager Review:

Background/Budget Analysis:

As cyber security concerns have grown over time, the City of Hurst has worked responsibly to implement tighter security controls in the form of password length and complexity. At times, staff has witnessed an increase in phishing attempts. These attempts have grown in sophistication and even the most highly trained employee can fall prey to the attempt. Additionally, there continues to be unfunded mandates for cyber security measures, as well as various cyber security conditions for accreditation and grant opportunities. Therefore, the City of Hurst Information Technology team is recommending that the City implement multi-factor authorization to help further secure our infrastructure.

Funding for this project is carried in the FY24 Information Technology Budget in the amount of \$39,600. Ongoing annual fees are approximately \$15,500.

Hurst Way/Strategic Priorities:

This purchase is consistent with the Council priorities of **Innovation** and **Infrastructure** and includes an element of **Public Service** as we protect data and resources. This purchase helps provide additional security from cyber threats.

Recommendation:

Staff recommends City Council **authorize the city manager to enter into an agreement with Waypoint Solutions to provide the necessary hardware, software and professional services to implement multi-factor authentication for the City of Hurst in an amount not exceed \$39,600.**



City Council Staff Report

SUBJECT: Conduct a public hearing and consider Ordinance 2566, first reading, Z-2024-00004 Valentine Oaks Homes, a zoning change from R2-PD to MU-PD with a concept plan for Lot G, Block 16 Valentine Oaks Addition, being .44 acre located at 916 Barbara Ann Drive

Supporting Documents:

Ordinance 2566
Area map
Legal notice
Ownership data
Zoning exhibit – Exhibit “A”
Concept plan – Exhibit “B”
Building elevations – Exhibit “C-D”

Meeting Date: 3/26/2024
Department: Development
Reviewed by: Michelle Lazo
City Manager Review:

Background/Budget Analysis:

An application has been made by Jason Trafton with ION Design Group for a zoning change from R2-PD (Duplex Planned Development) to MU-PD (Mixed Use Planned Development) with a concept plan for Lot G, Block 16 Valentine Oaks Addition, being .44 acre located at 916 Barbara Ann Drive.

The applicant is proposing a zoning change in order to develop three (3) two-story fourplex buildings with a total of 12 units on Lots G and F1. Lot F1 is the adjacent lot that is currently zoned MU-PD.

The development is proposing one access drive to Barbara Ann Dr. with private parking on the east side of the property. If the zoning is approved, a site plan will be submitted at a later date.

Hurst Way/Strategic Priorities:

Reviewing the site plan is a direct representation of Council’s goal for **Community and Economic Vitality**.

Recommendation:

Based upon the Planning and Zoning Commission vote of 5-1, the recommendation is City Council **deny Ordinance 2566, a zoning change with a concept plan for Valentine Oaks Homes.**

ORDINANCE 2566

AN ORDINANCE ADOPTING A ZONING CHANGE FROM R2 TO MU-PD WITH A CONCEPT PLAN ON LOT G, BLOCK 16 VALENTINE OAKS ADDITION, BEING .44 ACRE LOCATED AT 916 BARBARA ANN DRIVE

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and

WHEREAS, the City Council is of the opinion that the site plan herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. **THAT** the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a Zoning change with a Concept Plan with Exhibits "A-D" on Lot G, Block 16 Valentine Oaks Addition being .44 acre located at 916 Barbara Ann Drive

AND IT IS SO ORDERED.

Passed on the first reading on the 26th day of March 2024 by a vote of _ to _.

Approved on the second reading on the 9th day of April 2024 by a vote of _ to _.

ATTEST:

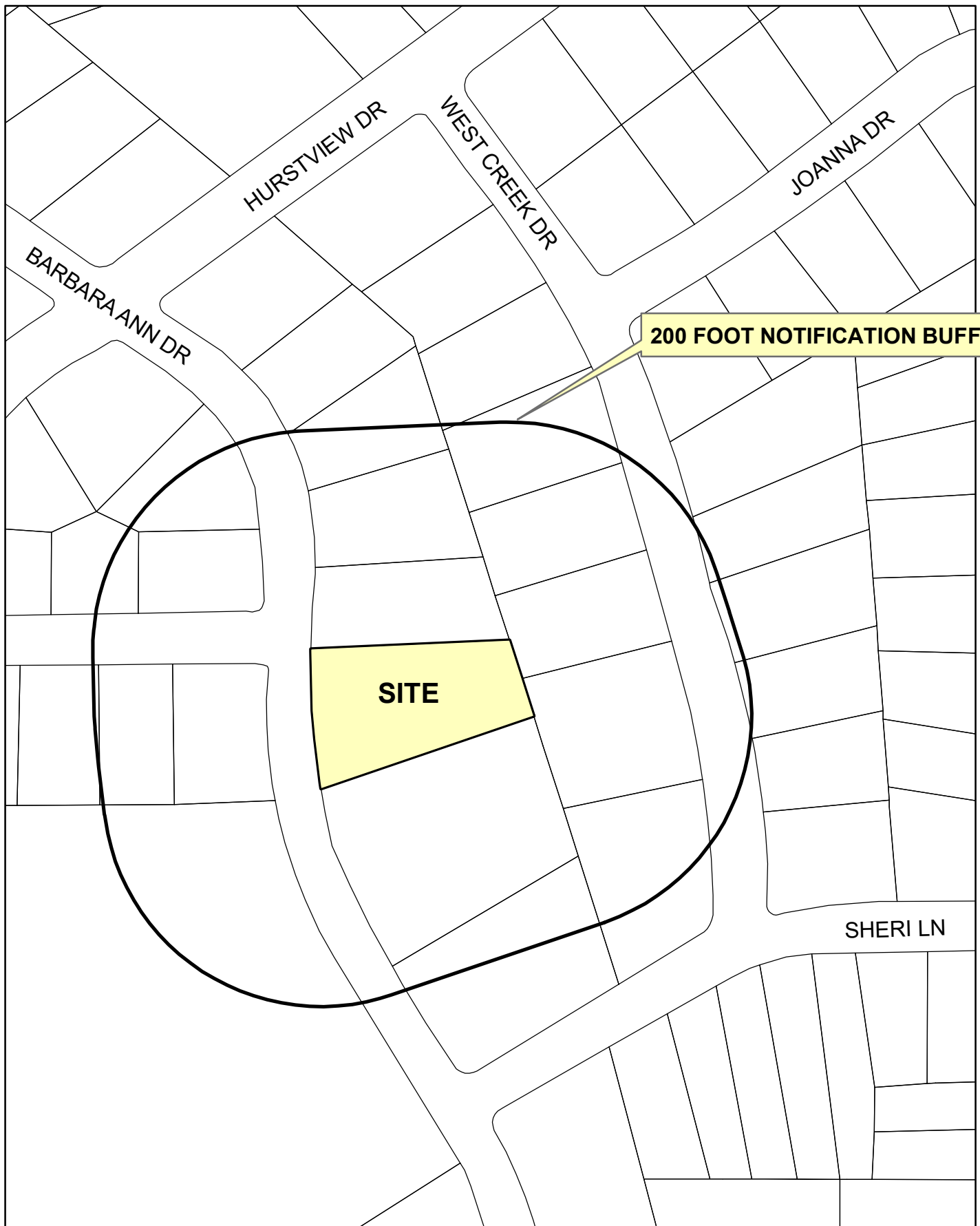
CITY OF HURST

Rita Frick, City Secretary

Henry Wilson, Mayor

Approved as to form and legality:

City Attorney



<p>CASE NO: Z-2024-00004</p>	<p>LEGAL DESCRIPTION: Lot G, Block 16 Valentine Oaks Addition</p>	<p>AGENDA DATE: 03-27-2024</p>
<p>REQUESTED ACTION: Zoning change from R-2 to MU-PD</p>	<p>LOCATION: 916 Barbara Ann Dr.</p>	



Z-2024-00004

LEGAL NOTICE

THE CITY OF HURST CITY COUNCIL WILL HOLD A PUBLIC HEARING AT 6:30 P.M. ON TUESDAY, MARCH 26, 2024, AT HURST CITY HALL 1505 PRECINCT LINE ROAD TO CONSIDER A ZONING CHANGE FROM R2 TO MU-PD WITH A CONCEPT PLAN ON LOT G, BLOCK 16 VALENTINE OAKS ADDITION, BEING .44 ACRE LOCATED AT 916 BARBARA ANN DRIVE

Valentine Oaks Homes
916 Barbara Ann Dr.
on Lot G, Block 16 Valentine Oaks Addition



Z-2024-00004

APPLICATION FOR SITE PLAN OWNERSHIP DATA

TO THE HURST PLANNING AND ZONING COMMISSION: The following described real property is under application for approval of a zoning change.

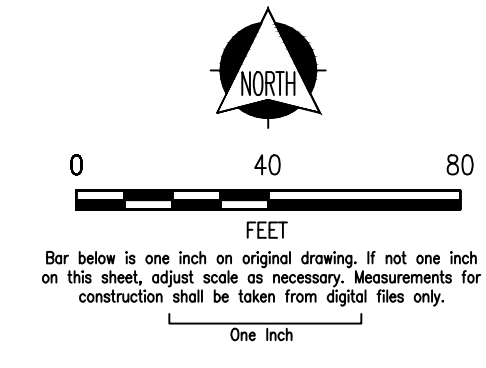
Zoning Change with a Concept Plan
Valentine Oaks Homes
Lot G, Block 16 Valentine Oaks Addition
916 Barbara Ann Dr.

The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a site plan:

Table with 3 columns: PROPERTY OWNER, LEGAL DESCRIPTION, ADDRESS. Lists 18 property owners and their details.

VESTAL, MELODY	VALENTINE OAKS ADDITION Lot 11 BLK 16	920 BARBARA ANN DR HURST TX 76053
LOAR, JONATHAN	VALENTINE OAKS ADDITION Lot 17 BLK 12	1008 WEST CREEK DR HURST TX 76053
FIRST AMERICAN PROPERTIES LLC	VALENTINE OAKS ADDITION Lot 14 BLK 1	221 BEDFORD RD STE 320 BEDFORCD TX 76022
RECTOR, GERALD E	VALENTINE OAKS ADDITION Lot 4 BLK 15	PO BOX 1322 HURST TX 76053
TICE, VICKY LYNN	VALENTINE OAKS ADDITION Lot 3 BLK 15	505 WOODCREST DR HURST TX 76053
RUMITA ENTERPRISES LLC	VALENTINE OAKS ADDITION Lot 2 BLK 15	2004 WOODBINE CIR SOUTHLAKE TX 76092
OCCUPANT	VALENTINE OAKS ADDITION Lot F1 BLK 16	912 BARBARA ANN DR HURST, TX 76053
OCCUPANT	VALENTINE OAKS ADDITION Lot F2 BLK 16	900 BARBARA ANN DR HURST TX 76053
OCCUPANT	VALENTINE OAKS ADDITION Lot 6R BLK 16	1009 WESTCREEK HURST TX 76053
OCCUPANT	VALENTINE OAKS ADDITION Lot G BLK 16	916 BARBARA ANN DR HURST T X 76053
OCCUPANT	VALENTINE OAKS ADDITION Lot 2 BLK 15	509 WOODCREST DR HURST TX 76053
OCCUPANT	VALENTINE OAKS ADDITION Lot 4 BLK 15	501 WOODCREST DR HURST TX 76053

EXHIBIT A



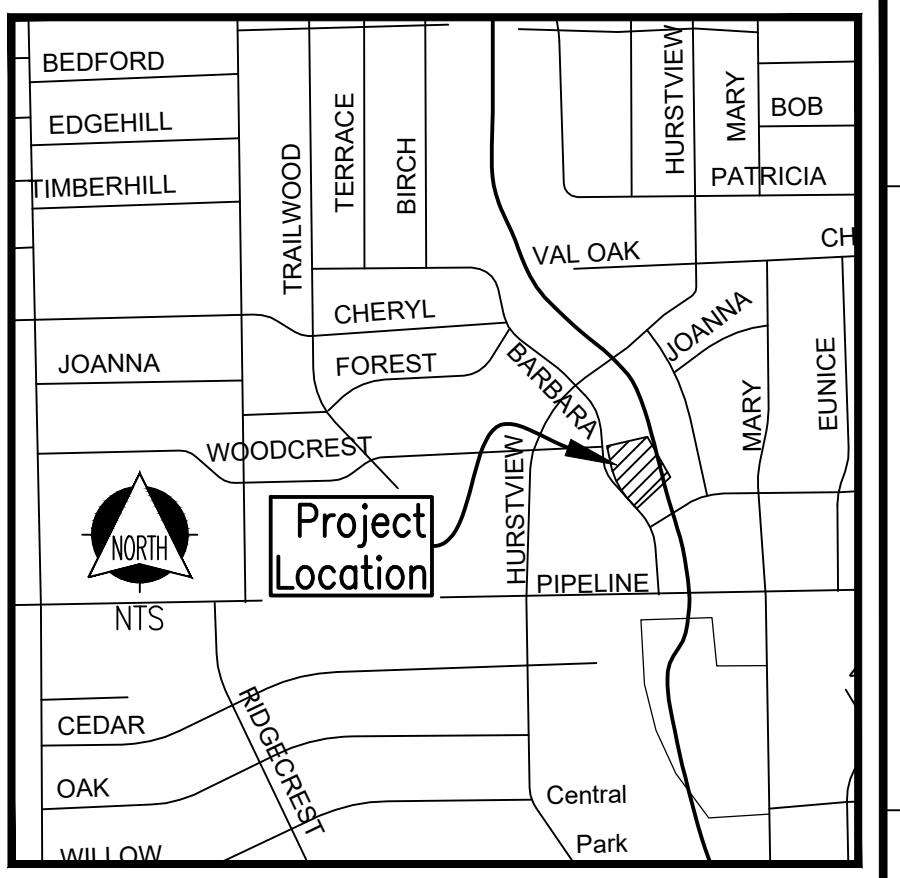
Land Use Data

Current Zoning	R2 & MU
Proposed Zoning	MU
Gross Acreage	1.231 Acres
Net Acreage	1.076 Acres
Building Square Footage	TBD

Owner/Applicant
First American Properties, LLC
 221 Bedford Rd #104,
 Bedford, TX 76022
 469.569.1420 Ph
 Contact: Sarfaraz Hansraj
 rhansraj@gmail.com

Engineer
Ion Design Group, LLC
 7075 Twin Hills Ave
 Suite 350
 Dallas, TX 75231
 214.370.3470 Ph
 Contact: Jason Traffon, PE
 jason@iondesigngroup.net

Surveyor
B & D Surveying, Inc.
 P.O. Box 293264
 Lewisville, TX 75029
 972.221.2838 Ph
 Contact: Michael R Doyle
 bd@bandsurveying.com



Location Map



METES & BOUNDS

LEGAL DESCRIPTION OF SURVEYED TRACT:
 BEGINNING at a 112 inch iron rod with a red cap stamped "B&D Surveying" set for the northwest corner of the herein described tract, being the common west corner of said Lot G and Lot 11, Block 16 of said Valentine Oaks Addition (Vol. 388-14, Pg. 15), said point lying in the eastern right-of-way line of Barbara Ann Drive, having a 50 foot wide right-of-way;

THENCE departing the eastern right-of-way of said Barbara Ann Drive, North 88 degrees 29 minutes 53 seconds East, with the north line of the herein described tract, some being the common line of said Lot G and said Lot 11, a distance of 183.79 feet to a set "X" cut in concrete for the northeast corner of the herein described tract, some being the common east corner of said Lot 11 and said Lot 11, said point lying in the west line of Lot 6-R, Block 16, Valentine Oaks Addition, an addition to the City of Hurst, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-26, Page 32, P.R.T.C.T.;

THENCE South 18 degrees 22 minutes 55 seconds East, with the east line of the herein described tract, with the common line of said Valentine Oaks Addition plats, a distance of 206.02 feet to a set "X" cut in concrete for the southeast corner of the herein described tract, being the common east corner of said Lot F-1 and Lot F-2 of said Block 16 (Vol. 388-71, Pg. 511), and being in the west line of Lot 8-R of said Block 16 (Vol. 388-26, Pg. 32, P.R.T.C.T.);

THENCE departing the west line of said Lot 8-R, South 58 degrees 32 minutes 05 seconds West, with the southern line of the herein described tract, some being the common line of said Lot F-1 and said Lot F-2, a distance of 204.00 feet to a 112 inch iron rod found for the southwest corner of the herein described tract, being the common west corner of said Lot F-1 and said Lot F-2, and lying in the eastern right-of-way line of the aforementioned Barbara Ann Drive;

THENCE North 31 degrees 27 minutes 55 seconds West, with the western line of the herein described tract and the eastern right-of-way line of said Barbara Ann Drive, a distance of 48.00 feet to a 112 inch iron rod with a red cap stamped "B&D Surveying" found for corner, said point being at the beginning of a tangent curve to the right having a radius of 334.17 feet, with a central angle of 31°13'02" whose long chord bears N15°51'24"W, a distance of 179.83 feet;

THENCE in a northerly direction with said curve and the eastern right-of-way line of said Barbara Ann Drive, passing a 518 inch iron rod found for the common west corner of said Lot G and said Lot F-1 for an arc length of 137.57', and continuing for a total arc length of 182.07 feet to a 112 inch iron rod with a red cap stamped "B&D Surveying" found for corner;

THENCE North 00 degrees 20 minutes 55 seconds West, with the western line of the herein described tract and the eastern right-of-way line of said Barbara Ann Drive, a distance of 83.25 feet to the POINT OF BEGINNING, and containing 1.231 acres or 53,627 square feet of land, plus or minus.

Project No.	0400.00
Date	01-24-2024
Designed By	JT
Drawn By	FM
Reviewed By	JT

7075 Twin Hills Ave
 Suite 350
 Dallas, Texas 75231
 Firm TX F6701
 214.370.3470 Ph

ION DESIGN GROUP

Sheet Title: **ZONING EXHIBIT**

Project Name: **VALENTINE OAKS HOMES**

City of Hurst, Tarrant County, Texas

Sheet Number: **1/1**

FILE: E:\ENGINEER - ION DESIGN GROUP\PROJECTS\VALENTINE OAKS HOMES\ZONING EXHIBIT.DWG PLOT DATE: 1/24/2024 5:41:11 PM SAVED: 1/26/2024 5:41:01 PM BY: ION DESIGN

EXHIBIT B

Lot 11
Vestal Melody
Called 0.293 Acres
Document No. D219174360
P.R.T.C.T

Lot 6R
Martin Dana E.
Called 0.257 Acres
Document No. D214062125
P.R.T.C.T

Lot 7R
Sanders Carlton L.
Called 0.40 Acres
Document No. D221051490
P.R.T.C.T

Lot 8R
Warning Chris M.
Called 0.397 Acres
Document No. D0010495000
P.R.T.C.T

Lot F2
Meniacle LLC.
Called 0.51 Acres
Document No. D219091908
P.R.T.C.T

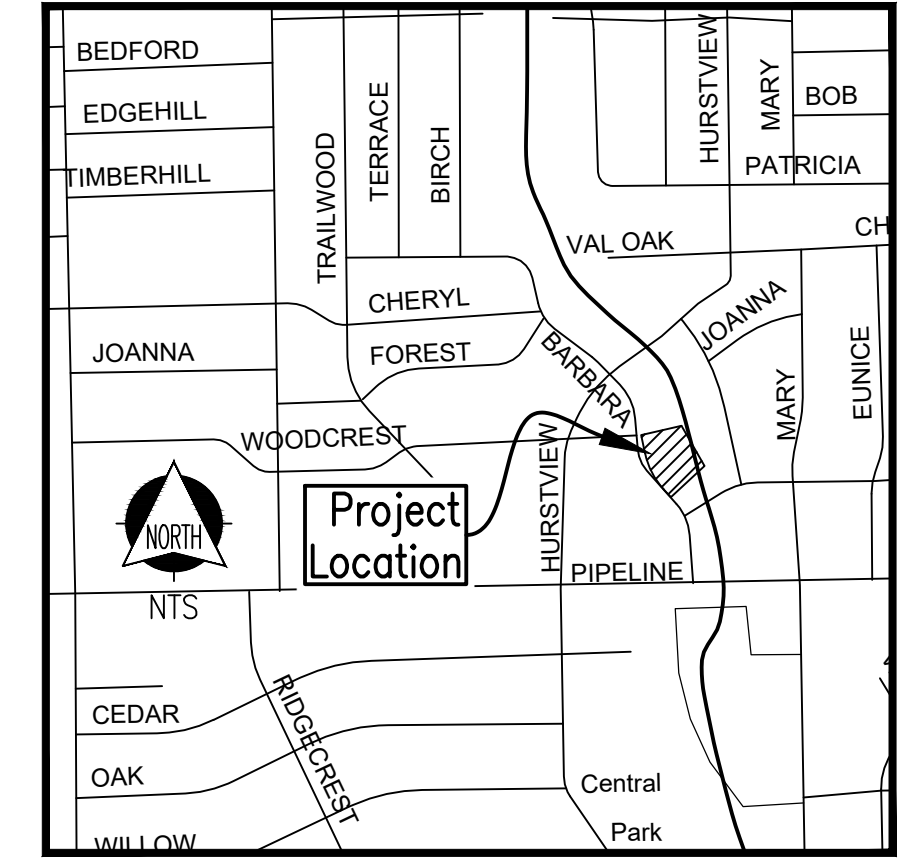
Lot 4
Block 15
Rector Gerald E.
Called 0.255 Acres
P.R.T.C.T

Lot C
Block 15
City of Hurst.
Called 4.418 Acres
Document No. D2221293750
P.R.T.C.T
ZONING MU
Mixed-Use District

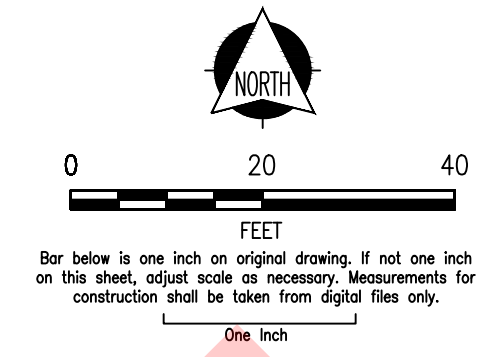
Owner
First American Properties, LLC
221 Bedford Rd #104,
Bedford, TX 76022
469.569.1420 Ph
Contact: Sarfaraz Hansraj
rhansraj@gmail.com

Engineer
Ion Design Group, LLC
7075 Twin Hills Ave
Suite 350
Dallas, TX 75231
214.370.3470 Ph
Contact: Jason Trafton, PE
jason@iondesigngroup.net

Surveyor
B & D Surveying, Inc.
P.O. Box 293264
Lewisville, TX 75029
972.221.2838 Ph
Contact: Michael R Doyle
bd@bandsurveying.com



Location Map



Existing Zoning	R2 Dwelling District & MU Mixed-Use District
Proposed Use	Multi-Family Residential
Site Area	1.231 Acres (53,62 SF)
Building Type Distribution	2-Story, 3-bedroom
Building Heights (stories/feet)	28' Maximum
Building Footprint	3410 SF (3-bedroom building). Total Area=10,230 SF
Number of Residential Lots	1
Number of Residential Dwelling Units	12-3 bedroom units
Density (units/acre)	9.75 units per Acre
Parking Required (Standard/Accessible)	1/unit ...25 spaces total, of which 1 are Accessible
Parking Provided (Standard/Accessible)	1/unit ...25 spaces total, of which 1 are Accessible
Minimum Roof Pitch	4/12
Parking Space Dimensions	9' x 18' perpendicular Total parking Area = 3,916 SF
Pavement Construction Material	Reinforced Concrete
Building Construction Material - Exterior	Brick
Impervious Surface	24,519 SF (45.7%)

NOTE: See floor plans and building elevations on Sheet C1.02.

METES & BOUNDS

LEGAL DESCRIPTION OF SURVEYED TRACT:

BEGINNING at a 112 inch iron rod with a red cap stamped "B&D Surveying" set for the northwest corner of the herein described tract, being the common west corner of said Lot G and Lot 11, Block 16 of said Valentine Oaks Addition (Vol. 388-14, Pg. 15), said point lying in the eastern right-of-way line of Barbara Ann Drive, having a 50 foot wide right-of-way;

THENCE departing the eastern right-of-way of said Barbara Ann Drive, North 88 degrees 29 minutes 53 seconds East, with the north line of the herein described tract, same being the common line of said Lot G and said Lot 11, a distance of 183.79 feet to a set "X" cut in concrete for the northeast corner of the herein described tract, same being the common east corner of said Lot G and said Lot 11, said point lying in the west line of Lot 6-R, Block 16, Valentine Oaks Addition, an addition to the City of Hurst, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-26, Page 32, P.R.T.C.T.;

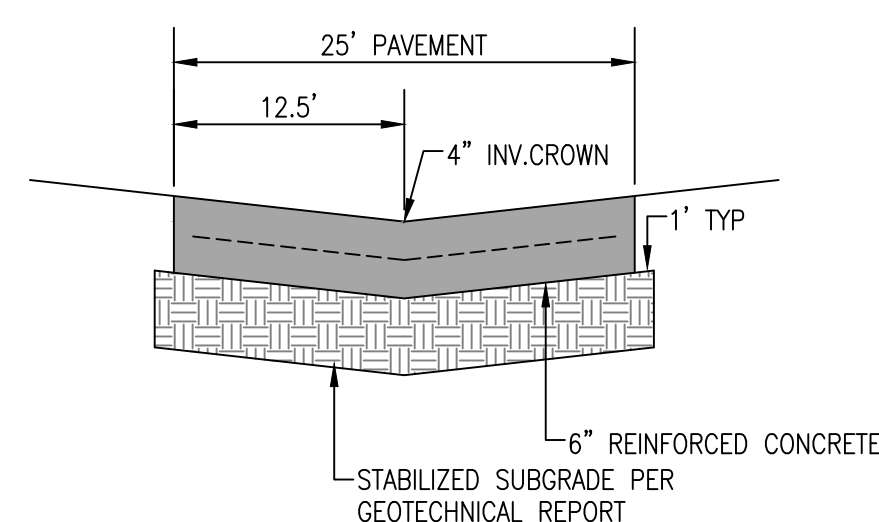
THENCE South 18 degrees 22 minutes 55 seconds East, with the east line of the herein described tract, with the common line of said Valentine Oaks Addition plats, a distance of 206.02 feet to a set "X" cut in concrete for the southeast corner of the herein described tract, being the common east corner of said Lot F-1 and Lot F-2 of said Block 16 (Vol. 388-71, Pg. 511), and being in the west line of Lot 8-R of said Block 16 (Vol. 388-26, Pg. 32, P.R.T.C.T.);

THENCE departing the west line of said Lot 8-R, South 58 degrees 32 minutes 05 seconds West, with the southern line of the herein described tract, same being the common line of said Lot F-1 and said Lot F-2, a distance of 204.00 feet to a 112 inch iron rod found for the southwest corner of the herein described tract, being the common west corner of said Lot F-1 and said Lot F-2, and lying in the eastern right-of-way line of the aforementioned Barbara Ann Drive;

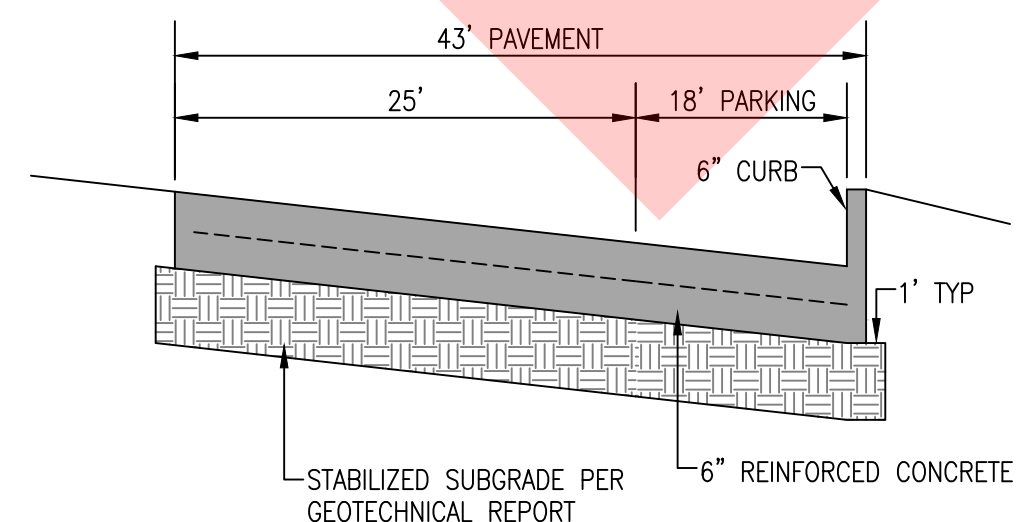
THENCE North 31 degrees 27 minutes 55 seconds West, with the western line of the herein described tract and the eastern right-of-way line of said Barbara Ann Drive, a distance of 48.00 feet to a 112 inch iron rod with a red cap stamped "B&D Surveying" found for corner, said point being at the beginning of a tangent curve to the right having a radius of 334.17 feet, with a central angle of 31°13'02" whose long chord bears N15°51'24"W, e distance of 179.83 feet;

THENCE in a northerly direction with said curve and the eastern right-of-way line of said Barbara Ann Drive, passing a 518 inch iron rod found for the common west corner of said Lot G and said Lot F-1 for an arc length of 137.57', and continuing for a total arc length of 182.07 feet to a 112 inch iron rod with a red cap stamped "B&D Surveying" found for corner;

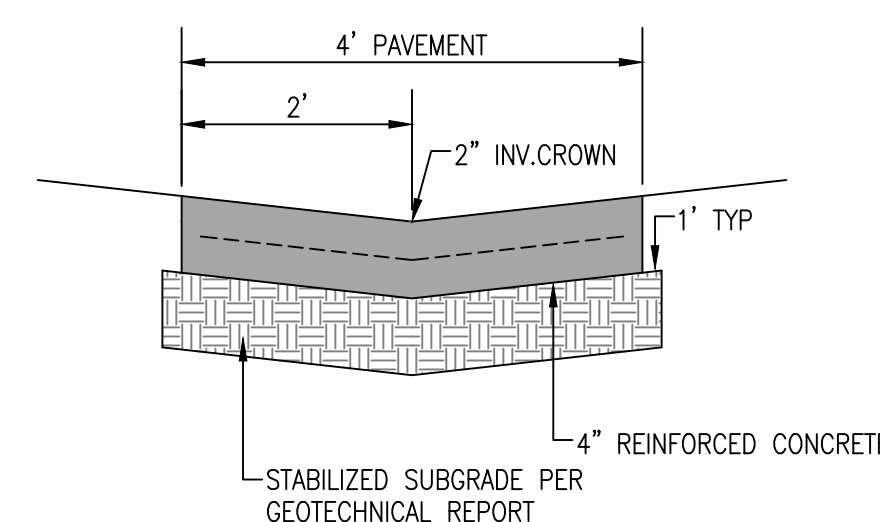
THENCE North 00 degrees 20 minutes 55 seconds West, with the western line of the herein described tract and the eastern right-of-way line of said Barbara Ann Drive, a distance of 83.25 feet to the POINT OF BEGINNING, and containing 1.231 acres or 53,627 square feet of land, plus or minus.



1 TYPICAL STREET CROSS SECTION
NOT TO SCALE



2 TYPICAL STREET CROSS SECTION
NOT TO SCALE



3 STORM FLUME
NOT TO SCALE

Project No. 0000.00
Date 01.05.2024
Designed By JT
Drawn By FM
Reviewed By JT

7075 Twin Hills Ave
Suite 350
Dallas, Texas 75231
Firm TX F6701
214.370.3470 Ph

ION DESIGN GROUP

SITE PLAN

VALENTINE OAKS HOMES
City of Hurst, Tarrant County, Texas

Sheet Number
C1.01

FILE ELEVATIONS - ION DESIGN GROUP PROJECTS (VALENTINE OAKS HOMES) PLOT DATE: 1/9/2024 4:22:31 PM SAID: 1/9/2024 4:13:03 PM BY: ION DESIGN

EXHIBIT C



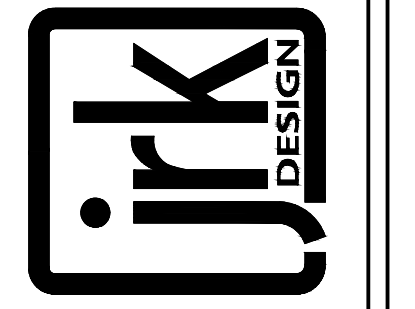
1 EXTERIOR ELEVATION
1/4" = 1'-0" OPPOSITE SIDE SIMILAR



2 EXTERIOR ELEVATION
1/4" = 1'-0" OPPOSITE SIDE SIMILAR

NEW DESIGN FOR:
RAZ HANSRAJ
 10524 TUBE DR.
 HURST, TX 76053

Commercial:
www.jrkdesign.us
 Residential:
www.jrkdesignresidential.com
 phone. 817.680.5921



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PLAN NO.

TX-22010A

A301

EXHIBIT D



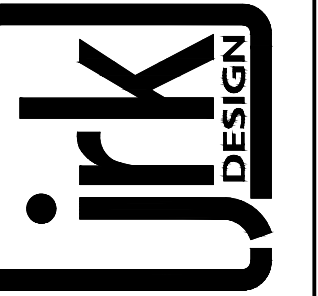
1 EXTERIOR ELEVATION
1/4" = 1'-0" OPPOSITE SIDE SIMILAR



2 EXTERIOR ELEVATION
1/4" = 1'-0" OPPOSITE SIDE SIMILAR

NEW DESIGN FOR:
RAZ HANSRAJ
10524 TUBE DR.
HURST, TX 76053

Commercial:
www.jrkdesign.us
Residential:
www.jrkdesignresidential.com
phone. 817.680.5921



PLAN NO.

TX-22010A

A302



City Council Staff Report

SUBJECT: Conduct a public hearing and consider Ordinance 2567, first reading, Z-2024-00005 Gibson RV Parking, a zoning change to Interim Zoning with a site plan on Lot 1, Block 1 Central Park Northeast Addition, being 5.08 acres located at 1425 W. Hurst Boulevard

Supporting Documents:	
Ordinance 2567 Area map Legal notice Ownership data Site plan – Exhibit “A”	Meeting Date: 3/26/2024 Department: Development Reviewed by: Michelle Lazo City Manager Review:

Background/Budget Analysis:

An application has been received by Clif Gibson to consider a zoning change from TX-10 (Texas Highway 10 Multi-Use District) to IZ (Interim Zoning) on Lot 1, Block 1 Central Park Northeast Addition, being 5.08 acres located at 1425 W. Hurst Boulevard. A site plan was approved for Urban Infraconstruction on this lot in 2020.

During construction of Urban Infraconstruction, an environmental contamination was discovered on the southern end of the property. The cost of this clean up caused the land developer to sell. This contamination was not disclosed to Mr. Gibson, the new owner.

The applicant is proposing the interim use of parking for commercial vehicles on a monthly basis and vehicle storage. This temporary use would provide the owner with some cash flow to cover taxes and maintenance until plans are finalized for development.

The new owner plans to partner with the City on future development plans to support the Trinity Lakes TRE Station, which is located in Hurst.

Hurst Way/Strategic Priorities:

Consideration of the Site Plan Revision is a direct representation of Council’s goal for **Community and Economic Vitality**.

Recommendation:

Based on the Planning and Zoning Commission's vote of 6-0, the recommendation is City Council **approve Ordinance 2567, an Interim Zoning Overlay with a site plan for Gibson RV Parking.**

ORDINANCE 2567

AN ORDINANCE ADOPTING A ZONING CHANGE CONSIDER A ZONING CHANGE FROM TX-10 TO IZ WITH A SITE PLAN ON LOT 1, BLOCK 1 CENTRAL PARK NORTHEAST ADDITION, BEING 5.08 ACRES LOCATED AT 1425 W HURST BOULVEARD

WHEREAS, notice of a hearing before the Planning and Zoning Commission was sent to real property owners within 200 feet of the property herein described at least 10 days before such hearing; and

WHEREAS, notice of a public hearing before the City Council was published in a newspaper of general circulation in Hurst at least 15 days before such hearing; and

WHEREAS, notices were posted on the subject land as provided by the Zoning Ordinance; and

WHEREAS, public hearings to change the site plan on the property herein described were held before both the Planning and Zoning Commission and the City Council, and the Planning and Zoning Commission has heretofore made a recommendation concerning the site plan change; and

WHEREAS, the City Council is of the opinion that the site plan herein effectuated furthers the purpose of zoning as set forth in the Comprehensive Zoning Ordinance and is in the best interest of the citizens of the City of Hurst.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HURST, TEXAS:

Section 1. **THAT** the Comprehensive Zoning Ordinance of the City of Hurst is hereby amended by adopting a Zoning change with a Site Plan with Exhibits "A" on Lot 1, Block 1 Central Park Northeast Addition being 5.08 acres located at 1425 W. Hurst Blvd

AND IT IS SO ORDERED.

Passed on the first reading on the 26th day of March 2024 by a vote of _ to _.

Approved on the second reading on the 9th day of April 2024 by a vote of _ to _.

ATTEST:

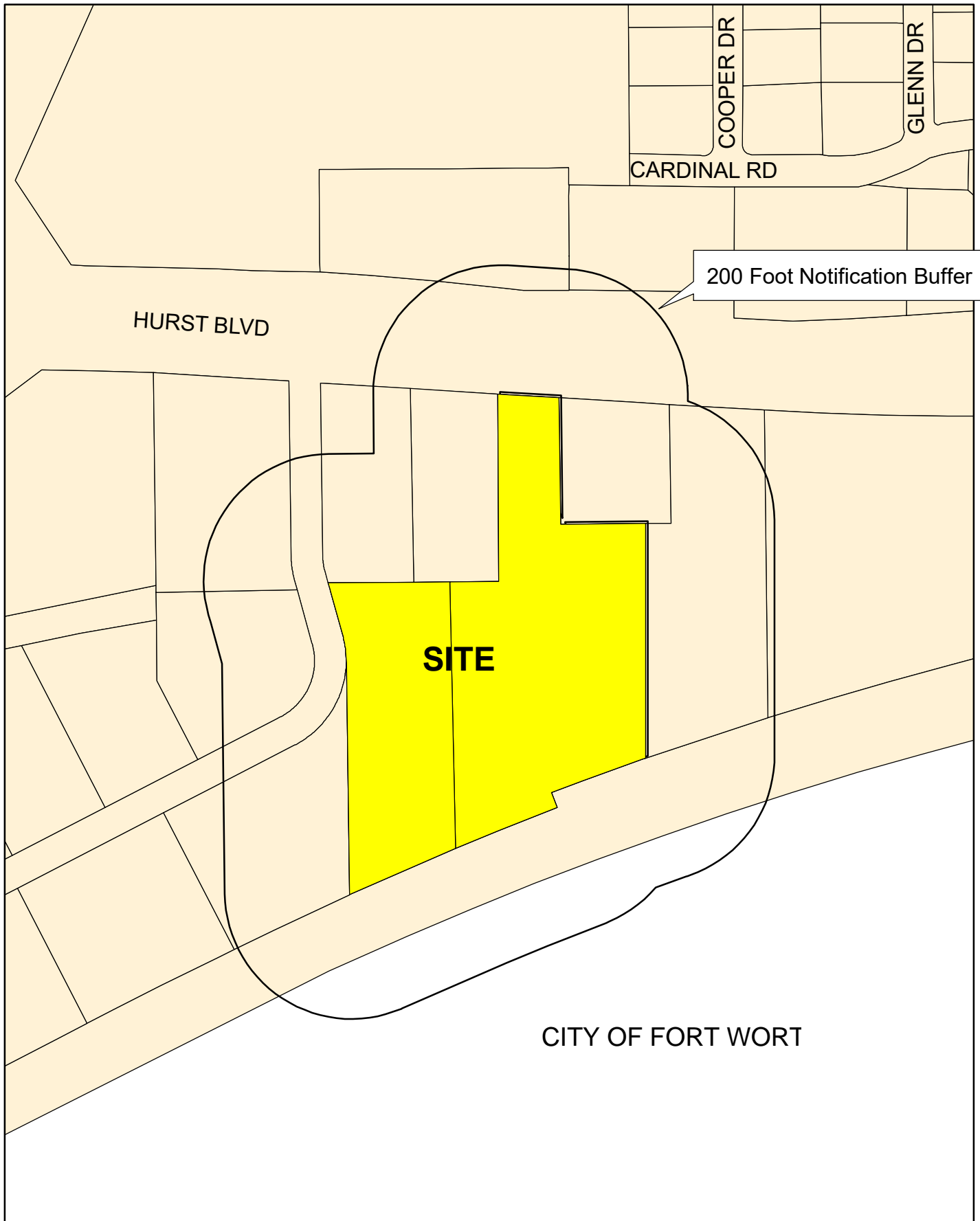
CITY OF HURST

Rita Frick, City Secretary

Henry Wilson, Mayor

Approved as to form and legality:

City Attorney



<p>CASE NO: SITE-2024-00005 Gibson RV Parking</p>	<p>LEGAL DESCRIPTION: LOT 1 BLOCK 1 CENTRAL PARK NORTHEAST ADDITION</p>	<p>AGENDA DATE: 03/26/2024</p>
<p>REQUESTED ACTION: INTERIM ZONING Parking</p>	<p>LOCATION: 1425 W. Hurst Blvd.</p>	



Z-2024-00005

LEGAL NOTICE

THE CITY OF HURST CITY COUNCIL WILL HOLD A PUBLIC HEARING AT 6:30 P.M. ON TUESDAY, MARCH 26, 2024, AT HURST CITY HALL 1505 PRECINCT LINE ROAD TO CONSIDER A ZONING CHANGE FROM TX-10 TO IZ WITH A SITE PLAN ON LOT 1, BLOCK 1 CENTRAL PARK NORTHEAST ADDITION, BEING 5.08 ACRES LOCATED AT 1425 W HURST BOULVEARD

Gibson RV Parking

1425 W. Hurst Blvd.

on Lot 1, Block 1 Central Park Northeast Addition



Z-2024-00005

**APPLICATION FOR SITE PLAN
OWNERSHIP DATA**

TO THE HURST PLANNING AND ZONING COMMISSION:

The following described real property is under application for approval of a zoning change with a site plan.

Gibson RV Parking
Lot 1, Block 1 Central Park Northeast Addition
1425 W. Hurst Blvd.

The following is a list of the property owners, legal description of their property, and mailing address of the owners of the property within 200 feet of the above-described property, which is under application for a zoning change with a site plan:

PROPERTY OWNER	LEGAL DESCRIPTION	ADDRESS
AA ADAM'S INC	CENTRAL PARK EAST ADDN-HURST Block 1 Lot 2	6665 RANDOL MILL RD FORT WORTH, TX 76112
TX 10 INDUSTRIAL LLC	PAYTON SUBDIVISION (HURST) Block 1 Lot FR	4216 CHESHIRE DR COLLEYVILLE, TX 76034
JANNAH'S REAL ESTATE LLC	CENTRAL PARK NORTH Lot 1	7808 PIRATE POINT CIR ARLINGTON, TX 76016
CONCORD RESTAURANTS INC	SONIC DRIVE-IN HWY 10 Block 1 Lot 2	1015 S MAIN ST DUNCANVILLE, TX 75137
OUTLOOK TEXAS LP	CENTRAL PARK NORTH Lot 2	1500 CENTRAL PARK DR HURST, TX 76053
ROSACLARA ENTERPRISES LLC	CENTRAL PARK NORTH Lot 3	3501 WINDSOR Ct COLLEYVILLE, TX 76034
DAKHIL FAMILY LLC	QT 865 ADDITION Block A Lot 1	1420 N LINDEN CIR WICHITA, KS 67206
CARTER, DAVID W	SONIC DRIVE-IN HWY 10 Block 1 Lot 1	408 WOODLAND TR KELLER, TX 76248
ASH LIMO TRANSPORTATIO N INC	BENNETT, HAMILTON SURVEY Abstract 138 Tract 5D02	6912 SHALIMAR CT COLLEYVILLE, TX 76034
GIBSON, JAMES	CENTRAL PARK NORTHEAST ADDITION Block 1 Lot 1	9745 RANCHO DR FORT WORTH 76244
OCCUPANT	CENTRAL PARK EAST ADDN-HURST Block 1 Lot 2	1401 W HURST BLVD HURST TX 76053
OCCUPANT	PAYTON SUBDIVISION (HURST) Block 1 Lot FR	1347 W HURST BLVD HURST TX 76053
OCCUPANT	CENTRAL PARK NORTH Lot 1	1505 HURST BLVD

		HURST TX 76053
OCCUPANT	SONIC DRIVE-IN HWY 10 Block 1 Lot 2	1451 W HURST BLVD HURST TX 76053
OCCUPANT	CENTRAL PARK NORTH Lot 2	1502 CENTRAL PARK DR HURST TX 76053
OCCUPANT	CENTRAL PARK NORTH Lot 3	1507 CENTRAL PARK DR HURST TX 76053
OCCUPANT	QT 865 ADDITION Block A Lot 1	1400W HURST BLVD HURST TX 76053
OCCUPANT	SONIC DRIVE-IN HWY 10 Block 1 Lot 1	1461 W HURST BLVD HURST TX 76053
OCCUPANT	BENNETT, HAMILTON SURVEY Abstract 138 Tract 5D02	1351 W HURST BLVD HURST TX 76053
OCCUPANT	CENTRAL PARK NORTHEAST ADDITION Block 1 Lot 1	1425 W HURST BLVD HURST TX 76053

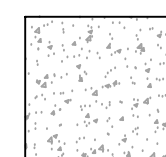

EXHIBIT A

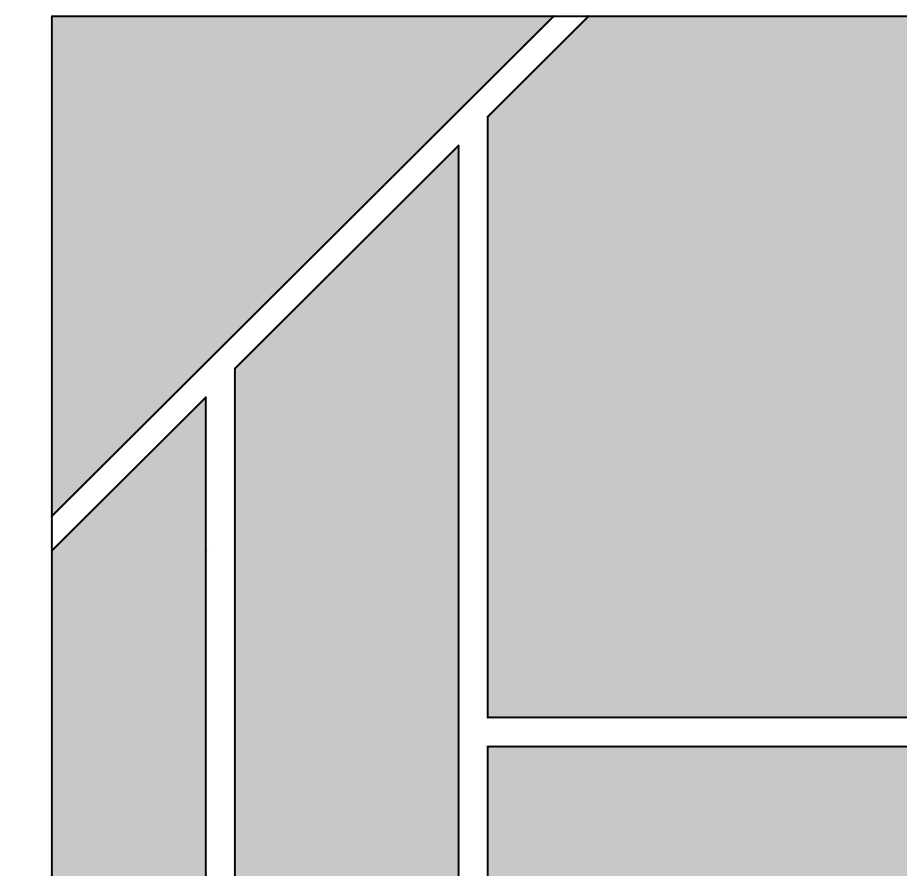
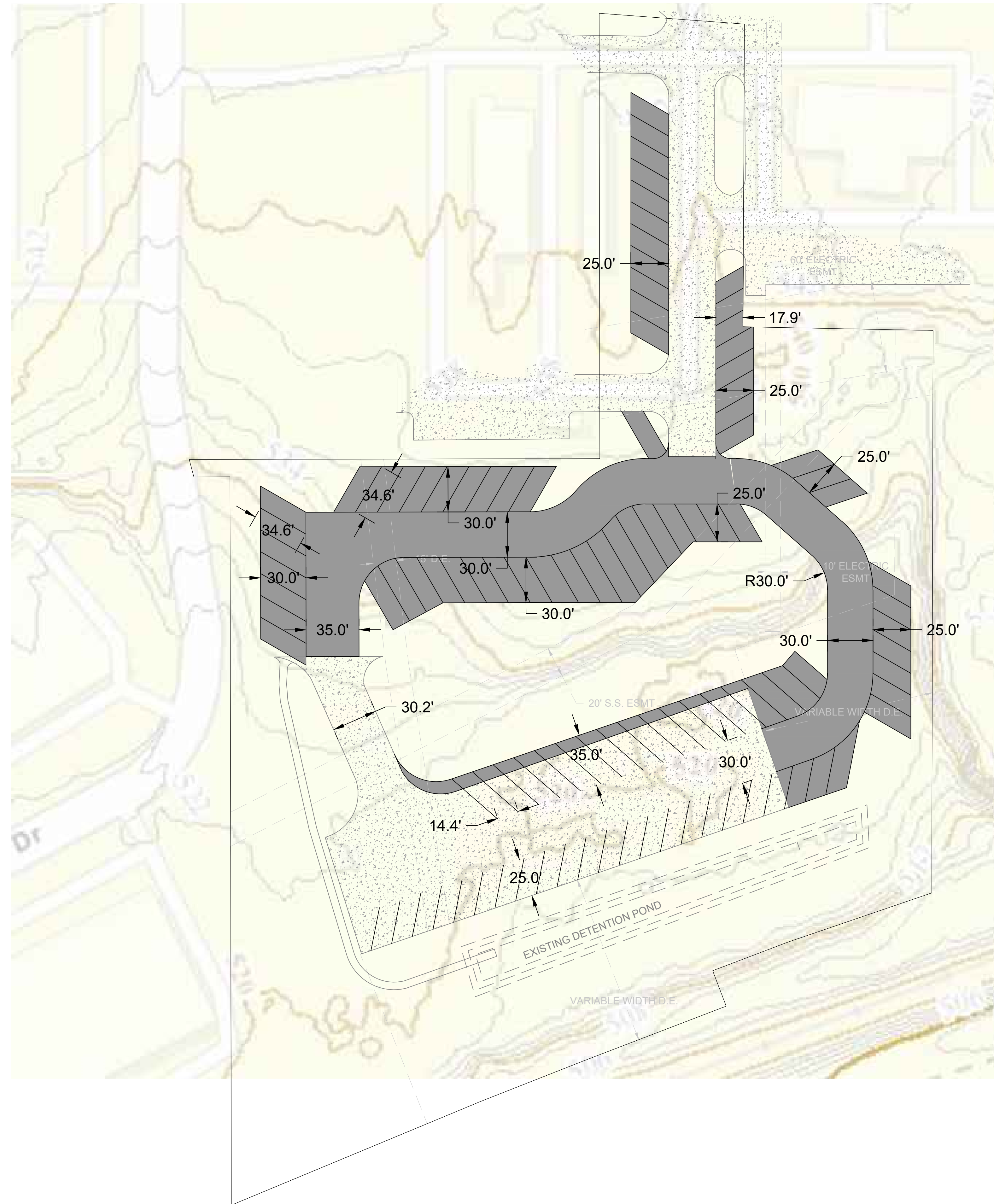
TOTAL SPACES: 104

SPACES BY DEPTH

- 18': 3
- 25': 53
- 30': 23
- 35': 17
- 35'+: 8

LEGEND

-  EXISTING PAVEMENT
-  PROPOSED PAVEMENT



CCM Engineering

2570 FM 407, Suite 209
Highland Village, Texas 75077
Ph: 972.691.6633
Fax: 972.691.6628
TBPE FIRM #605

HURST RV PARKING CONCEPT PLAN

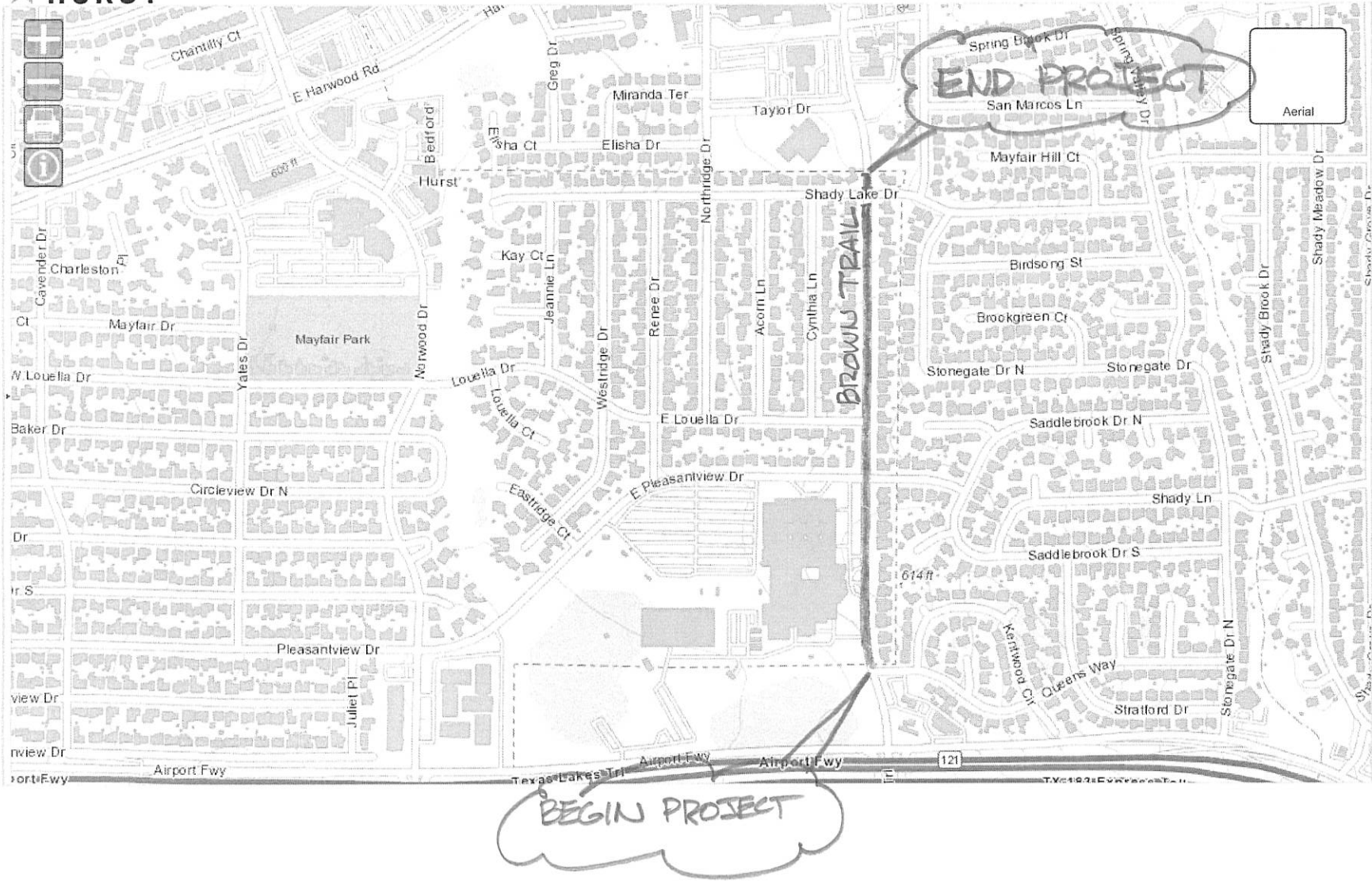


City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into an engineering services contract with Aguirre & Fields, LP for Brown Trail Reconstruction Improvements from Queens Way to the Northern City Limits	
Supporting Documents:	
Location Map Contract Agreement	Meeting Date: 3/26/2024 Department: Public Works Reviewed by: Greg Dickens City Manager Review:
Background/Budget Analysis:	
<p>This section of Brown Trail is on the north side of State Highway 183/121 from Queens Way to our north city limits just past the Shady Lake intersection. This section of 4-lane divided roadway is currently asphalt. This project would reconstruct the 2,644-foot section of roadway with 8-inch-thick reinforced concrete. No right-of-way is necessary since the road will not require widening. Sidewalks will be reconstructed where existing and added where needed. This project was approved for the 2021 Tarrant County Transportation Bond Program which means Tarrant County will pay 50% of the costs for the roadway reconstruction.</p> <p>The proposed engineering services contract is with Aguirre & Fields, LP. This is a local engineering design firm with a designated project engineer on this project that we have had considerable experience with on previous projects. The total fee for the engineering services is \$219,643.60. The engineer should provide final plans and specifications for this project within 8 months.</p> <p>Funding for the engineering services are available in the Special Projects Fund. Future bond funds will be necessary to fund the construction of this project.</p>	
Hurst Way/Strategic Priorities:	
The engineering services contract meets Council’s priorities and goals of Infrastructure and Financial Sustainability .	

Recommendation:

Staff recommends City Council **authorize the city manager to execute the engineering services contract with Aguirre & Fields, LP for Brown Trail Reconstruction Improvements from Queens Way to the Northern City Limits, for a total fee not to exceed \$219,643.60.**



LOCATION MAP

THE STATE OF TEXAS '
 '
COUNTY OF TARRANT '

ENGINEERING SERVICES CONTRACT

BROWN TRAIL RECONSTRUCTION IMPROVEMENTS

from Queens Way to the Northern City Limits

City of Hurst Project No. 6424-102

THIS CONTRACT, By and between the **CITY OF HURST**, a municipal corporation located in Tarrant County, Texas, hereinafter called "City", and Aguirre & Fields, LP, a limited partnership authorized to do business in the State of Texas, hereinafter called "Engineer", evidences the following:

WHEREAS, City desires professional engineering services for the Brown Trail Reconstruction Improvements from Queens Way to the Northern City Limits. These improvements will include removal of the existing concrete curb & gutter and asphalt pavement, stabilizing the subgrade, placement of new concrete curb & gutter and reinforced concrete pavement, some sidewalk work, and replacement of some existing sanitary sewer main. No additional right-of-way is needed for this project.

WHEREAS, Engineer represents that it is qualified and capable of performing the professional services proposed herein for this Project and is willing to enter into this Contract with City to perform said services;

NOW, THEREFORE, the parties in consideration of the terms and conditions contained herein agreed as follows:

Section 1. EMPLOYMENT OF THE PROFESSIONAL

Professional agrees to perform professional services in connection with the Project as set forth in the following sections of this Contract, and City agrees to pay, and Professional agrees to accept fees as set forth in the following sections as full and final compensation for all services provided under this Contract.

Section 2. CONTRACT ADMINISTRATION

This Contract shall be administered on behalf of the City by the Executive Director of Hurst Public Works or his designated representatives (hereinafter called " Director"), and on behalf of the Engineer by its duly authorized officials.

Section 3. ENGINEER'S SERVICES

The Engineer agrees to render services necessary for the development of the Project as outlined in Exhibit A attached.

Section 4. PAYMENT FOR SERVICES

A. Payment for **Preliminary Engineering, Final Plans and Specifications**, and **Construction Phase** services under Section 3 above will be based on itemized monthly statements submitted based on the Engineer's monthly progress report and detailed monthly itemized statement for services that show the names of the employees, agents, contractors performing the services, the time worked, the actual services performed, the rates charges for such service, reimbursable expenses, the total amount of fee earned to date, and the amount due and payable as of the current statement, in a form reasonable acceptable to the City. Total payment for the project services will be based on monthly statements to accomplish the work described in **Exhibit A, but shall not exceed \$219,643.60.**

B. Payments shall also include Direct Non-Labor Expenses which, in general, include expenses for supplies, transportation, equipment, travel, communication, subsistence and lodging away from home, and similar incidentals.

The Direct Non-Labor expenses shall be reimbursable at actual invoice cost. The contract cost amount in Section 3 above shall include an estimate of the Direct Non-Labor expenses, not to exceed \$35,672.60.

C. Subcontractor cost shall be reimbursed at the actual invoice cost plus 10%. All expected subcontractor's cost shall be included in the contract cost amount shown in Section 3 above.

D. Engineer shall submit itemized monthly statements for Services, Direct Non-Labor Expenses, and for Subcontractors Costs incurred. City shall make payments in the amount shown by the Engineer's monthly statements and other documentation submitted, and no interest shall ever be due on late payments.

E. Payments for expenses, costs, and services, for **Preliminary Engineering**, described in Section 3 above, shall not exceed **\$37,618.00.**

F. Payments for expenses, costs, and services, for **Final Plans and Specifications**, described in Section 3 above, shall not exceed **\$161,673.60.**

G. Payments for expenses, costs, and services, for **Construction Phase**, described in Section 3 above, shall not exceed **\$20,352.00.**

H. Nothing contained in this contract shall require the City to pay for any work which is unsatisfactory as reasonably determined by the Director or which is not submitted in compliance with the terms of this Contract. City shall not be required to make any

payments to the Engineer when the Engineer is in default under this Contract; nor shall this paragraph constitute a waiver of any right, at law or in equity, which City may have if the Engineer is in default, including the right to bring legal action for damages or for specific performance of this Contract, nor shall it constitute a waiver of any right, at law or in equity, which Engineer may have to bring legal action for payment when Engineer believes it was not under such default and is owed fees under the terms of this agreement.

Section 5. OWNERSHIP OF DOCUMENTS

All information and other data given to, prepared, or assembled by Engineer under this Contract, and other related items shall become the sole property of City and shall be delivered to City, without restriction on future use. Engineer may make copies of any and all documents and items for its files. A set of “as-built” or “revised per construction information” mylar reproducible plans and an electronic copy of the plans in pdf format will be filed with the City prior to final payment. Engineer shall have no liability for changes made to or use of the drawings, specifications, and other documents by anyone subsequent to the completion of the Project.

City shall require that any such change or other use shall be sealed by the Engineer making that change or use and shall be appropriately marked to reflect what was changed or modified.

Section 6. SERVICES BY CITY

City shall provide the following services under this Contract:

- A. Provide available criteria and information to the Engineer as City's requirements for the Project.
- B. Provide sample drawings to use as guidelines.
- C. Provide all available City of Hurst drawings, maps, and notes relating to existing public facilities within the limits of the Project.

Section 7. COMPLETION SCHEDULE

The services furnished by the Engineer under this Contract will be completed in accordance with the following: **See Exhibit B – Project Schedule.**

For the purposes of this Contract, a month is defined as thirty (30) calendar days and a week as seven (7) calendar days. If any of the following submissions fall on a City non-working day, then the submission shall be due the following City working day.

Section 8. NOTICE TO PROCEED

City shall have complete control of the services to be rendered and no work shall be done under this Contract until the Engineer is instructed in writing to proceed.

Section 9. TERMINATION OF CONTRACT

City may indefinitely suspend further work hereunder or terminate this Contract or any phase of this Contract upon thirty (30) days prior written notice to the Engineer with the understanding that immediately upon the receipt of such notice all work and labor being performed under this Contract shall cease immediately. Before the end of the thirty (30) day period, Engineer shall invoice the City for all work accomplished by him prior to the receipt of such notice. No amount shall be due for lost or anticipated profits. All plans, field surveys, and other data related to the Project shall become property of City upon termination of the Contract and shall be promptly delivered to City in a reasonably organized form without restriction on future use except as stated in Section 5. Should City subsequently contract with a new consultant for continuation of services on the Project, Engineer shall cooperate in providing information.

Section 10. RESPONSIBILITY FOR CLAIMS AND LIABILITIES

Approval by City shall not constitute nor be deemed a release of the responsibility and liability of the Engineer, its employees, associates, agents, and consultants for the accuracy and competency of their designs or other work; nor shall approval be deemed to be an assumption of such responsibility by City for any errors or omissions in the design or other work prepared by the Engineer, its employees, subcontractor, agents and consultants.

Section 11. EQUAL EMPLOYMENT OPPORTUNITY

- A. The Engineer shall not discriminate against any employee or applicant for employment because of race, age, color, religion, sex, ancestry, national origin, or place of birth. The Engineer shall take affirmative action to insure that applicants are employed and that employees are treated during their employment without regard to their race, age, color, religion, sex, ancestry, national origin, or place of birth.
- B. If the Engineer fails to comply with the Federal Laws relating to Equal Employment Opportunity, it is agreed that the City at its option may do either or both of the following:
 - 1) Cancel, terminate, or suspend the contract in whole or in part;
 - 2) Declare the Engineer ineligible for further City Contracts until he is determined to be in compliance.

Section 12. AMENDMENTS

This Contract may be amended or supplemented in any particular only by written instrument and only as approved by resolution of City Council or the City Manager, except for termination under Section 9, Termination of Contract, which may be accomplished by the Director or his designated representative as identified in Section 9, Termination of Contract.

Section 13. COMPLIANCE WITH LAWS, CHARTERS, AND ORDINANCES, ETC.

The Engineer, his consultants, agents and employees, and subcontractors shall comply with applicable Federal and State Laws, the Charter and Ordinances of the City of Hurst, and with applicable rules and regulations promulgated by local, state, and national boards, bureaus, and agencies existing and published before date of this agreement.

Section 14. RIGHT OF REVIEW

Engineer agrees that City may review any and all of the work performed by Engineer under this Contract. City hereby granted the right to audit at City's election, all of the Engineer's records and billings related to the performance of this contract. Engineer agrees to retain such records for a minimum of three (3) years following completion of this contract.

Section 15. CONFLICT OF INTEREST

No officer or employee shall have any financial interest, direct or indirect, in any contract with the City or be financially interested, directly, in the sale to the City of any land, materials, supplies, or services, except on behalf of the City as an officer or employee. Any violation of this section shall constitute malfeasance in office, and any officer or employee guilty thereof shall thereby forfeit his office or position with the City. Any violation of this section with knowledge, expressed or implied, of the person or corporation contracting with the City shall render the Contract involved voidable by the City Manager or the City Council.

Section 16. CONTRACT PERSONAL

This Contract is for personal and professional services; and the Engineer shall not assign this Contract, in whole or in part, without the prior written consent of the City.

Section 17. NOTICES

All notices, communications, and reports required or permitted under this Contract shall be personally delivered or mailed to the respective parties by depositing the same in the United States Mail at the address shown below unless and until either party is otherwise notified in writing by the other party at the following addresses. Mailed notices shall be deemed communicated after five days.

If intended for Hurst, to:

Gregory W. Dickens
Contact Person
Executive Director of Public Works
Title
City of Hurst
1505 Precinct Line Road
Hurst, Texas 76054
(817) 788-7076

If intended for Engineer, to:

Alex I. Garcia
Contact Person
Roadway Team Lead
Title
Aguirre & Fields, LP
1701 River Run, Suite 410
Fort Worth, TX 76107
(682) 325-5451

Section 18. INDEPENDENT CONTRACTOR

In performing services under this Contract, Engineer is performing services of the type performed prior to this contract; and Engineer by the execution of this contract does not change the independent status of the Engineer. No term, or provision hereof, or act of Engineer in the performance of this Contract shall be construed as making Engineer the agent, servant, or employee of Hurst.

Section 19. INDEMNITY

Engineer agrees to defend (except for Professional Liability claims), indemnify, and hold City whole and harmless against claims for damages, costs, and expenses of persons or property but only to the extent caused by the negligent act, error or omission of Engineer, or any agent, servant, or employee of Engineer in the execution or performance of this Contract, without regard to whether such persons are under the direction of City agents or employees.

This provision shall not be deemed to apply to liability for damage that is caused by or results from the negligence of the City of Hurst or its employees or other agents.

Section 20. INSURANCE

Engineer agrees to maintain workmen's compensation insurance to cover all of its own personnel engaged in performing services for client under this agreement. Engineer also agrees to maintain professional liability insurance and commercial general liability coverage in the amounts listed below:

- Professional Liability Insurance - \$1 Million per claim/aggregate
- Commercial General Liability Insurance - \$1 Million per claim/aggregate
- Workers Compensation - Statutory

Section 21. VENUE

The obligations of the parties to this Contract are performable in Tarrant County, Texas; and if legal action is necessary to enforce it, exclusive venue shall lie in Tarrant County, Texas.

Section 22. APPLICABLE LAWS

This Contract is made subject to the provisions of the Hurst Code, other City Ordinances, Standards, Hurst Specifications for materials and construction, as amended, and all State and Federal Laws.

Section 23. GOVERNING LAWS

This contract shall be governed by and construed in accordance with the laws and decisions of the State of Texas.

Section 24. LEGAL CONSTRUCTION

In case any one or more of the provisions contained in this Contract shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provisions thereof; and this Contract shall be considered as if such invalid, illegal or unenforceable provision had never been contained in this Contract.

Section 25. PUBLISHED MATERIAL

Engineer agrees that the City shall review and approve any written material about City projects and/or activities prior to being published by the Engineer.

Section 26. CAPTIONS

The captions to the various clauses of this Contract are for informational purposes only and shall not alter any substance of the terms and conditions of this Contract.

Section 27. SUCCESSORS AND ASSIGNS

This Contract shall be binding upon and insure to the benefit of the parties hereto and their respective heirs, executors, administrators, successors and, except as otherwise provided in this Contract, their assigns.

Section 28. ENTIRE AGREEMENT

This Contract (page 1 thru 8 and Exhibit A) embodies the complete agreement of the parties hereto, superseding all oral or written previous and contemporary agreements between the parties and relating to matters in this Contract, and except as otherwise provided herein, cannot be modified without written agreement of the parties to be attached to and made a part of this Contract.

IN WITNESS WHEREOF, the parties hereby have executed this agreement in triplicate originals on this date, the _____ day of _____, 2024.

AGUIRRE & FIELDS, LP
Engineer

Christine R. Crosby
Signature Christine R. Crosby

Vice-President of Aguirre, LLC - General Partner
Title

7215 New Territory Blvd., Suite 100
Address

Sugar Land, TX 77479
City, State, Zip Code

CITY OF HURST

Clay Caruthers, City Manager
Gregory W. Dickens
Executive Director of Public Works

APPROVED AS TO FORM:

City Attorney

**EXHIBIT A – SERVICES
TO BE PROVIDED BY THE ENGINEER**

This contract consists of providing final plans, specifications, bid phase services, and general construction representation services for Brown Trail. The new roadway will be a 4-lane curb and gutter roadway from Queens Way to the city limits approximately 150 feet north of Sandy Lake Dr. This project is part of the 2021 Tarrant County Transportation Bond Program.

The design services include preparing roadway design, storm drain system analysis and design, sanitary sewer replacement (from E Pleasantview Dr to Sandy Lake Dr), and survey necessary to support the design process. These services also include construction cost estimate preparation, bid phase services, construction administration. Key deliverables include, 30%, 60%, 90% Plans, Specifications and Estimate (PS&E), and 100% Final Bid Documents.

BASIC SERVICES

UNIT I. PRELIMINARY ENGINEERING

1. Data collection & Field Reconnaissance

- A. The Engineer shall collect, review and evaluate data described below. The Engineer shall notify City of Hurst in writing whenever the Engineer finds disagreement with the information or documents:
1. Data from City of Hurst, include, but are not limited to, “as-built plans”, existing schematics, right-of-way maps, utility GIS mapping, and previous corridor studies, reports, and plans conducted by other agencies and groups.
 2. Utility plans and documents from utility companies.
 3. Flood plain information and studies from the Federal Emergency Management Agency (FEMA), the United States Corps of Engineers (USACE), local municipalities and other governmental agencies.
 4. Obtain graphics files, plans, documents, and other pertinent data for existing and proposed improvements along the proposed corridor.
 5. Conduct field reconnaissance and collect data including a photographic record of notable existing features.

Design criteria. The Engineer shall utilize criteria as set forth in the City of Hurst’s Design Manual, NCTCOG specifications and other deemed necessary approved manuals.

- 2. Design Coordination Meeting.** The coordination meeting will provide for a brainstorming session in which decision makers, stakeholders and technical personnel may discuss and agree on:
- A. Roadway and drainage design parameters
 - B. Engineering and environmental constraints
 - C. Project development schedule
 - D. Other issues as identified by the City
 - E. Preliminary Construction Cost Estimate

UNIT II. FINAL PLANS & SPECIFICATIONS

ROADWAY DESIGN (FC 160)

1. Roadway Design.

The drawings will consist of a planimetric file of existing features and files of the proposed improvements. The roadway base map will contain line work that depicts existing surface features obtained from the schematic drawing. Existing major subsurface and surface utilities will be shown if requested by the City. Existing and proposed right-of-way lines will be shown. Plan and Profile will be shown on same sheets.

A. The plan view will contain the following design elements:

1. Calculated roadway centerlines. Horizontal control points will be shown.
2. Pavement edges for all improvements.
3. Lane and pavement width dimensions.
4. Direction of traffic flow on all roadways. Lane lines and arrows indicating the number of lanes will also be shown.
5. ROW lines and easements.
6. Begin and end superelevation transitions and cross slope changes (if applicable).
7. Limits of block sod, and seeding.
8. Existing utilities and structures.
9. Benchmark information.
10. Radii call outs, curb location, and American with Disabilities Act Accessibility Guidelines (ADAAG) compliance items.

B. The profile view will contain the following design elements:

1. Calculated profile grade for proposed roadway, and cross streets. Vertical curve data, including "K" values will be shown.
2. Existing and proposed profiles along the proposed centerline of the roadway.

2. Typical Sections.

The Engineer shall prepare typical sections for all proposed and existing roadways and structures. Typical sections will include width of travel lanes, shoulders, outer separations, border widths, curb offsets, and ROW. The typical section will also include Proposed Profile Gradeline (PGL), centerline, pavement design, side slopes, sodding or seeding limits, and sidewalks.

3. Cut and Fill Quantities.

The Engineer shall develop an earthwork analysis to determine cut and fill quantities and provide final design cross sections at 50 feet intervals. Cross sections will be on 11"x17" sheets. Cross sections and quantities will include existing pavement removals. Annotation shall include at a minimum existing and proposed ROW, side slopes (front & back), profiles, etc.

4. Plan Preparation.

The Engineer shall prepare roadway plans, profiles and typical sections for the proposed improvements. Prior to the 30% submittal, the Engineer shall schedule a workshop to review layout with the City. This will enable the City to determine the most feasible proposed roadway alignment. The City will approve the proposed alignment before the Engineer continues with the subsequent submittals.

5. Pedestrian and Bicycle Facilities.

The Engineer shall coordinate with the City to incorporate pedestrian and bicycle facilities as required or shown on the project's schematic. All pedestrian and bicycle facilities will be designed in accordance with the latest Americans with Disabilities Act Accessibility Guidelines (ADAAG), the Texas Accessibility Standards (TAS), and the AASHTO Guide for the Development of Bicycle Facilities

SIGNING & PAVEMENT MARKING (FC 162)

1. Signing.

The Engineer shall prepare drawings, specifications and details for all signs. The Engineer shall coordinate with the City for overall temporary, interim and final signing strategies and placement of signs outside contract limits. The Engineer shall:

- a. Illustrate and number the proposed signs on plan sheets.
 - b. Select each sign foundation from TxDOT Standards.
2. Pavement Marking.
- a. The Engineer shall detail both permanent and temporary pavement markings and channelization devices on plan sheets. The Engineer shall select Pavement markings from the latest City or TxDOT standards.
 - b. The Engineer shall provide the following information on sign and pavement marking layouts:
 1. Roadway layout.
 2. Center line with station numbering.
 3. Existing signs to remain, to be removed, to be relocated or replaced.
 4. Proposed signs (illustrated, numbered and size).
 5. Proposed markings (illustrated and quantified) which include pavement markings, object markings and delineation.
 6. Quantities of existing pavement markings to be removed.
 7. Proposed delineators, object markers, and mailboxes.
 8. Right-of-way limits.
 9. Direction of traffic flow on all roadways.

MISCELLANEOUS DESIGN (FC 163)

1. **Construction Phasing Layouts.** The Engineer shall prepare a construction phasing plan for the project to show general proposed phasing. A detailed traffic control plan will be developed by the awarded construction contractor and submitted for approval.
2. **Storm Water Pollution Prevention Plan (SWP3) Notes.** The awarded construction contractor will be responsible for preparing erosion control and SWP3 plans to be submitted for approval. Engineer will include bid item and general guidance in general notes.
3. **Compute, Tabulate Quantities and Prepare Estimate.** The Engineer shall provide the summaries, quantities and estimate within all formal submittals.
4. **Specifications and Project Manual.** The Engineer shall identify necessary standard specifications and special specifications from City, NCTCOG and TxDOT standards. The Engineer shall prepare a project bid manual to include the contract between the Contractor and the City. The engineer will use the standard format provided by the City.
5. **Constructability Review.** The Engineer shall perform a constructability review at 90% and/or final plans to identify potential constructability issues and options that would provide substantial time savings during construction.

PROJECT MANAGEMENT & ADMINISTRATION (FC 164)

The ENGINEER shall:

- a. Perform all work in accordance with the City's latest practices, criteria, specifications, policies, and procedures.
- b. Notify the City of its schedule, in advance, for all field activities.
- c. When specified, seek right of entry from public or private land owners to perform environmental services. Right of entry permission shall be written and signed by the land owner. Develop letters or

other materials for seeking right of entry. Letters or other materials seeking right of entry shall not be distributed without prior approval of the City. Letters or other materials seeking right of entry shall contain explicit reference to the kinds of activities for which right of entry is requested and an indication of the impacts (if any) that will result.

- d. Prepare monthly written progress reports for each project.
- e. Develop and maintain a detailed project schedule to track project conformance to Exhibit B, Project Schedule, for each work authorization.
- f. Meet on a scheduled basis with the City to review project progress.
- g. Prepare, distribute, and file both written and electronic correspondence.
- h. Document phone calls and conference calls as required during the project to coordinate the work for various team members.

UNIT III. BID AND CONSTRUCTION PHASE SERVICES (FC 309)

1. BID PHASE SERVICES

- a. The Engineer shall provide Bid Phase Services at the written request of the City of Hurst's Project Manager.
 - a. The Engineer shall develop the invitation to bid and deliver to City staff for advertising the project for public bidding.
 - b. The Engineer shall manage and distribute bidding documents.
 - c. The Engineer shall prepare for the Pre-Bid Conference, develop an agenda and sign-in sheet, attend the Pre-Bid Conference, take notes at the conference, prepare minutes, and incorporate into the addenda.
 - d. The Engineer shall receive all questions from bidders, log the questions, and answer in the form of an addenda.
 - e. The Engineer shall conduct the bid letting, receive all bids, tabulate the bids, and certify them.
 - f. The Engineer shall research the low bidder's qualifications and recommend award to the City of Hurst.

2. CONSTRUCTION PHASE SERVICES

The Engineer shall provide Construction Phase Services at the written request of the City. The written request shall include a description of the work requested, a mutually agreed upon time limit, and any special instructions for coordination and submittal. These services shall include, but are not limited to the following:

- a. Attend preconstruction meeting
- b. Attend field meetings and make visits to site (up to 12)
- c. Calculate quantities and assist the City's PM in preparing change orders
- d. Review and approval of shop drawings
- e. Responding to requests for information (RFIs)
- f. Providing minor redesign (major redesign should be handled with a contract supplement), which will include changes to the affected plan sheets.
- g. Answering general questions
- h. Providing clarification
- i. Other project related tasks in support of the City during construction

DELIVERABLES

The Engineer shall submit the following deliverables to the City:

a. Plans

The Engineer shall provide the following information at each submittal:

1. 30% Plans Submittal
 - a. Estimate of construction cost.
 - b. Preliminary Title Sheet
 - c. Existing and Proposed Typical Sections
 - d. Control Data Sheets
 - e. Preliminary Plan & Profile Sheets
2. 60% Plans Submittal. Provide the City with a review set of plans that includes the items listed below:
 - a. Estimate of construction cost.
 - b. Address 30% Comments.
 - c. Updated Title Sheet with Index of Sheets including Standards
 - d. Final Existing and Proposed Typical Sections
 - e. Preliminary Construction Phasing Plan Sheets
 - f. Control Data Sheets
 - g. Final Plan & Profile Sheets
 - h. Preliminary Miscellaneous Roadway Details
 - i. Preliminary Signing Layouts
 - j. Preliminary Pavement Marking Layouts and Delineation
 - k. Roadway Cross-Sections (scale 1"=20' horizontally and vertically)
 - l. Updated Estimate
3. 90% Review Submittal. Provide the City with a review set of plans that includes the items listed below:
 - a. Address 60% Comments
 - b. Updated Title Sheet with Index of Sheets
 - c. Final Existing and Proposed Typical Sections
 - d. Final Control Data Sheets
 - e. Final Plan & Profile Sheets
 - f. Final Miscellaneous Roadway Details
 - g. Final Signing Layouts
 - h. Final Pavement Marking Layouts and Delineation
 - i. Final Roadway Cross-Sections
 - j. Final Construction Cost Estimate and General Notes
 - k. Project Bid Manual
4. Final submittal (100%).
 - a. Revised supporting documents from 90% review comments.

SUBCONTRACTED SERVICES

UNIT I. PRELIMINARY ENGINEERING

Task I. Topographic Survey (Yellow Rose Mapping, LLC)

1. Establish project control using Global Positioning System (GPS) methodology. Horizontal values will be based on the Texas State Plane Coordinate System, North American Datum of 1983, North Central Zone (4202) and scaled to surface using a grid to surface factor of 1.00012 (0,0 base point). The vertical values will be referenced to NAVD88 and computed using GEOID18. Control monuments will be established at minimum

1,000 linear foot intervals.

2. Research current property owners and obtain copies of subdivision plats and ownership deeds. Existing easements referenced in the plats/deeds will also be obtained, and any additional easement documents provided by Aguirre-Fields or the City will be plotted and added to the property base map. This task does not include effort for property title searches or additional research for easements not included in the currently available Tarrant Appraisal District (TAD) information, right-of-way takings, easement vacations and abandonments, right-of-way vacations, and street closures.
3. Locate existing property corners and right-of-way corners to establish property lines and street rights-of-way.
4. Perform topographic/design survey for approximately 3,100 linear feet of Brown Trail and intersecting streets as shown as red lines on the attached Exhibit "A". The design survey limits will extend up to 10 feet past the existing right-of-way and will include pavement edges, pavement types, curb and gutter, buildings, driveways, culverts, fences and gates, signs, mailboxes, tops and toes of slopes, spot elevations, visible utility features, trees six (6) inches and greater, and other visible surface features.
5. Locate sanitary sewer and storm water manholes/junction boxes and provide sketches including inverts, material and size for all manholes within the project area and the adjacent upstream/downstream manholes of interrelated pipes extending outside of the project limits. Water valves will be located along with top of nut elevations.

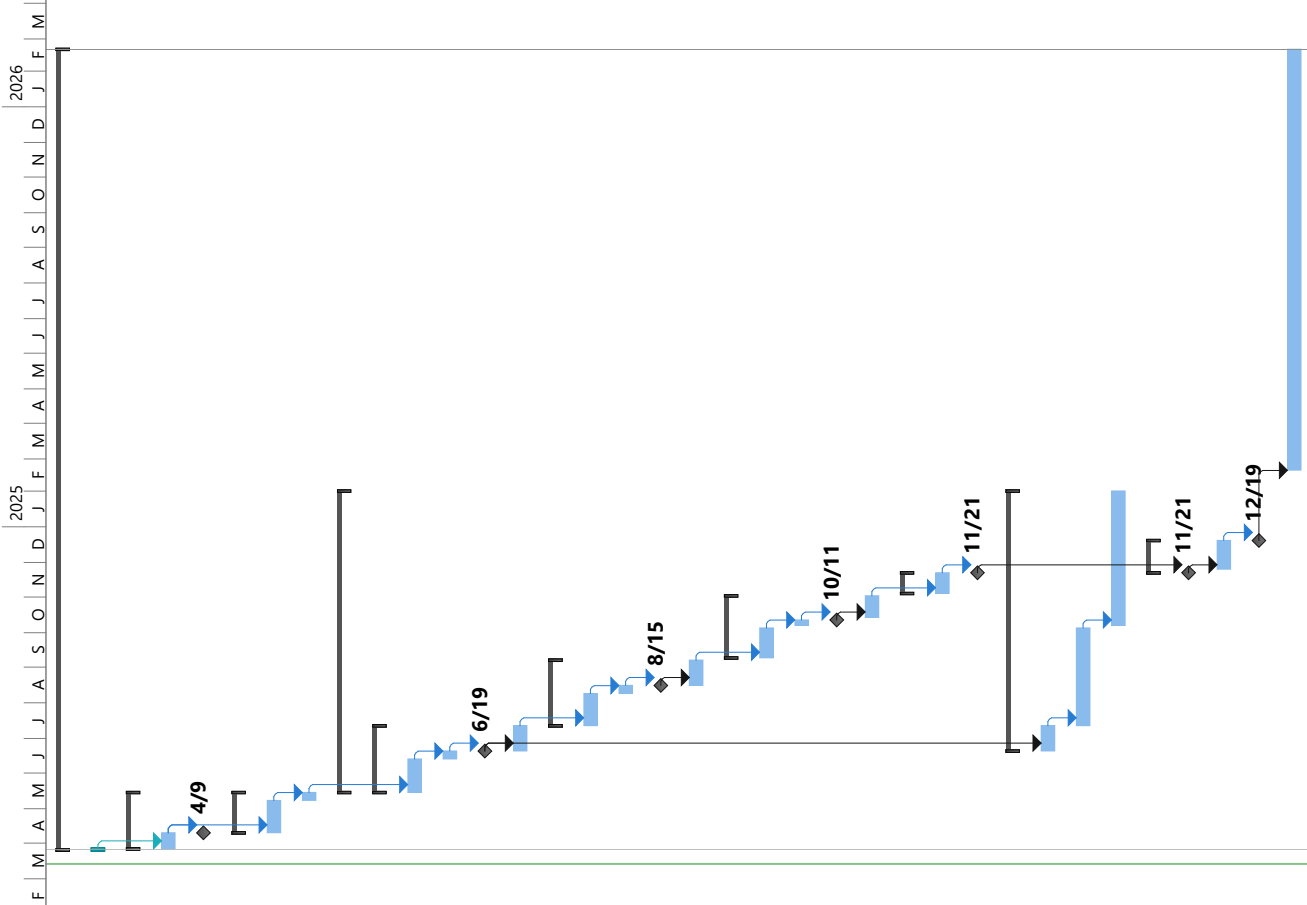
UNIT II. FINAL PLANS AND SPECIFICATIONS

Task I. Texas Department of Licensing and Regulation (TDLR)

- Engineer will register the project with TDLR at time of plan completion.
- A Registered Accessibility Specialist (RAS) will review the project for compliance with Texas Accessibility Standards (TAS) built upon the American with Disabilities Act (ADA) law.
- A RAS will inspect the project upon construction completion for conformance with TAS standards and will prepare written documentation as to any deficiencies and provide documentation of completion as required by law.

Hurst Brown Trail
Exhibit B - Project Schedule

ID	Task Name	Duration	Start	Finish
1	Hurst Brown Trail	482 days	Tue 3/26/24	Thu 2/19/26
2	Contract Execution	1 day	Tue 3/26/24	Tue 3/26/24
3	UNIT I. PRELIMINARY ENGINEERING	35 days	Wed 3/27/24	Tue 5/14/24
4	Data Collection, Sub Contracts, & Project Set Up	10 days	Wed 3/27/24	Tue 4/9/24
5	Kickoff Meeting	0 days	Tue 4/9/24	Tue 4/9/24
6	Survey	25 days	Wed 4/10/24	Tue 5/14/24
7	Field Work	20 days	Wed 4/10/24	Tue 5/7/24
8	Data Processing	5 days	Wed 5/8/24	Tue 5/14/24
9	UNIT II. FINAL PLANS & SPECIFICATIONS	180 days	Wed 5/15/24	Fri 1/31/25
10	30% Design Development	40 days	Wed 5/15/24	Thu 7/11/24
11	30% Design	20 days	Wed 5/15/24	Wed 6/12/24
12	30% QAQC	5 days	Thu 6/13/24	Wed 6/19/24
13	30% Milestone - Submittal to City	0 days	Wed 6/19/24	Wed 6/19/24
14	30% City Review	15 days	Thu 6/20/24	Thu 7/11/24
15	60% Design Development	40 days	Fri 7/12/24	Fri 9/6/24
16	60% Design	20 days	Fri 7/12/24	Thu 8/8/24
17	60% QAQC	5 days	Fri 8/9/24	Thu 8/15/24
18	60% Milestone - Submittal to City	0 days	Thu 8/15/24	Thu 8/15/24
19	60% City Review	15 days	Fri 8/16/24	Fri 9/6/24
20	90% Design Development	40 days	Mon 9/9/24	Fri 11/1/24
21	90% Design	20 days	Mon 9/9/24	Fri 10/4/24
22	90% QAQC	5 days	Mon 10/7/24	Fri 10/11/24
23	90% Milestone - Submittal to City	0 days	Fri 10/11/24	Fri 10/11/24
24	90% City Review	15 days	Mon 10/14/24	Fri 11/1/24
25	100% (Final) Design Development	14 days	Mon 11/4/24	Thu 11/21/24
26	100% (Final) Pre-Final Plan Revisions	14 days	Mon 11/4/24	Thu 11/21/24
27	100% (Final) Milestone - Submittal to City	0 days	Thu 11/21/24	Thu 11/21/24
28	Utility Coordination	155 days	Thu 6/20/24	Fri 1/31/25
29	Identify Utility Conflicts	15 days	Thu 6/20/24	Thu 7/11/24
30	Coordinate with franchise utilities	60 days	Fri 7/12/24	Fri 10/4/24
31	Franchise Utility Relocations (if required)	80 days	Mon 10/7/24	Fri 1/31/25
32	UNIT III. CONSTRUCTION PHASE	18 days	Thu 11/21/24	Thu 12/19/24
33	Advertisement Begins	0 days	Thu 11/21/24	Thu 11/21/24
34	Advertisement Period	18 days	Mon 11/25/24	Thu 12/19/24
35	Bid Opening	0 days	Thu 12/19/24	Thu 12/19/24
36	Construction Phase Services	254 days	Wed 2/19/25	Thu 2/19/26



FEE SCHEDULE

PRIME PROVIDER NAME: Aguirre & Fields, LP

TASK DESCRIPTION	PROJECT MANAGER	QUALITY MANAGER	ENGINEER - SENIOR (15+)	ENGINEER (PROJECT) (10-15)	ENGINEER (DESIGN) (5-10)	ENGINEER IN TRAINING II (2-5)	ENGINEERING TECHNICIAN	ENGINEERING TECHNICIAN - JUNIOR	ADMIN / CLERICAL	TOTAL LABOR HOURS & COSTS
UNIT I. PRELIMINARY ENGINEERING										
1. ROADWAY DATA COLLECTION & FIELD RECONNAISSANCE										
DATA COLLECTION & REVIEW	2					8				10
FIELD RECONNAISSANCE	4					4				8
2. DESIGN COORDINATION MEETING										
	4					4				8
HOURS SUB-TOTALS										
	10	0	0	0	0	16	0	0	0	26
CONTRACT RATE PER HOUR	\$309.00	\$263.00	\$260.00	\$195.00	\$170.00	\$123.00	\$140.00	\$93.00	\$93.00	
TOTAL LABOR COSTS	\$3,090.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,968.00	\$0.00	\$0.00	\$0.00	\$5,058.00
% DISTRIBUTION OF STAFFING	38.5%	0.0%	0.0%	0.0%	0.0%	61.5%	0.0%	0.0%	0.0%	
SUBTOTAL (FC110)										

TASK DESCRIPTION	PROJECT MANAGER	QUALITY MANAGER	ENGINEER - SENIOR (15+)	ENGINEER (PROJECT) (10-15)	ENGINEER (DESIGN) (5-10)	ENGINEER IN TRAINING II (2-5)	ENGINEERING TECHNICIAN	ENGINEERING TECHNICIAN - JUNIOR	ADMIN / CLERICAL	TOTAL LABOR HOURS & COSTS
UNIT II. FINAL PLANS & SPECIFICATIONS										
FC160 - ROADWAY DESIGN										
1. ROADWAY DESIGN										
PLAN VIEW	10				0	60	20	80		170
PROFILE VIEW	10				0	60	20	40		130
2. TYPICAL SECTIONS										
	2				0	8	0	8		18
3. CUT AND FILL QUANTITIES (DESIGN MODELING)										
	4				0	80	20	20		104
4. PLAN PREPARATION										
	12				0	80	12	80		184
5. PEDESTRIAN AND BICYCLE FACILITIES										
	3				0	8		8		19
FC162 - SIGNING & PAVEMENT MARKING										
1. SIGNING										
	4				0	8	2	8		22
2. PAVEMENT MARKING										
	4				0	8	2	8		22
FC163 - MISCELLANEOUS DESIGN										
1. CONSTRUCTION PHASING LAYOUTS										
	2				0	16	2	16		36
2. SWP3 NOTES										
	1				0	0		0		1
3. COMPUTE, TABULATE QUANTITIES & ESTIMATE										
	4				8	24		36		36
4. SPECIFICATIONS & PROJECT MANUAL										
	8				0	40		48		48
5. CONSTRUCTABILITY REVIEW										
		20								20
FC164 - PROJECT MANAGEMENT & ADMINISTRATION										
GENERAL ADMINISTRATION										
PREPARE INVOICES AND MONTHLY PROJECT PROGRESS REPORTS (12 MONTHS)	12								12	24
PREPARE DESIGN SCHEDULE AND MONTHLY UPDATE (12 MONTHS)	4									4
PROJECT MANAGEMENT & COORDINATION WITH CITY (12 MONTHS)	12				0	12				24
PROJECT MANAGEMENT & COORDINATION WITH SUB CONSULTANTS (6 MONTHS)	6				0	6				12
MEETINGS										
ATTEND AND PREPARE FOR THREE (3) DESIGN MEETINGS	6				0	9				15
QA/QC										
PERFORM QA/QC FOR 30% MILESTONE SUBMITTAL	8	20			0		4			32
PERFORM QA/QC FOR 60% MILESTONE SUBMITTAL	8	20			0		4			32
PERFORM QA/QC FOR 90% MILESTONE SUBMITTAL	8	20			0		4			32
PERFORM QA/QC FOR FINAL MILESTONE SUBMITTAL	8	20			0		4			32

PRIME PROVIDER NAME: Aguirre & Fields, LP

HOURS SUB-TOTALS	136	100	0	8	419	94	248	12	1017
CONTRACT RATE PER HOUR	\$309.00	\$263.00	\$195.00	\$170.00	\$123.00	\$140.00	\$93.00	\$93.00	
TOTAL LABOR COSTS	\$42,024.00	\$26,300.00	\$0.00	\$1,360.00	\$51,537.00	\$13,160.00	\$23,064.00	\$1,116.00	\$158,561.00
% DISTRIBUTION OF STAFFING	13.4%	9.8%	0.0%	0.8%	41.2%	9.2%	24.4%	1.2%	
SUBTOTAL (FCI60)									\$158,561.00

PRIME PROVIDER NAME: Aguirre & Fields, LP

TASK DESCRIPTION	PROJECT MANAGER	QUALITY MANAGER	ENGINEER - SENIOR (15+)	ENGINEER (PROJECT) (10-15)	ENGINEER (DESIGN) (5-10)	ENGINEER IN TRAINING II (2-5)	ENGINEERING TECHNICIAN	ENGINEERING TECHNICIAN - JUNIOR	ADMIN / CLERICAL	TOTAL LABOR HOURS & COSTS
UNIT III - CONSTRUCTION PHASE SERVICES										
RECEIVE AND RESPOND TO QUESTIONS FROM BIDDERS	4		0			8				12
CONSTRUCTION PHASE SERVICES (GENERAL)										
ATTEND PRE CONSTRUCTION MEETING	2		0			2				4
ATTEND PROGRESS MEETINGS (Up to 4)	8					8				16
RESPOND TO RFIS	12		0			24				36
PROVIDE CHANGE ORDER REVIEW	8		0			24				32
ATTEND SUBSTANTIAL COMPLETION MEETING	4					4				8
HOURS SUB-TOTALS										
CONTRACT RATE PER HOUR	\$309.00	\$263.00	\$260.00	\$195.00	\$170.00	\$123.00	\$140.00	\$93.00	\$93.00	
TOTAL LABOR COSTS	\$11,742.00	\$0.00	\$0.00	\$0.00	\$0.00	\$8,610.00	\$0.00	\$0.00	\$0.00	\$20,352.00
% DISTRIBUTION OF STAFFING	35.2%	0.0%	0.0%	0.0%	0.0%	64.8%	0.0%	0.0%	0.0%	
SUBTOTAL (FC309)										\$20,352.00

DESCRIPTION	TOTAL COSTS BY	
	TOTAL MH BY FC	FC
UNIT I. PRELIMINARY ENGINEERING	26	\$5,058.00
UNIT II. FINAL PLANS & SPECIFICATIONS	1017	\$158,561.00
UNIT III - CONSTRUCTION PHASE SERVICES	108	\$20,352.00
Direct Expenses	0	\$1,160.00
BASIC SERVICES SUBTOTAL	1151	\$185,131.00

PRIME PROVIDER NAME: Aguirre & Fields, LP

DIRECT EXPENSES	UNIT	# OF UNITS	COST/UNIT	Type			
Mileage	mile	320	\$0.655	Exp	LS	\$209.60	\$210.00
Standard Postage	letter		\$0.50	Exp	LS	\$0.00	\$0.00
Photocopies B/W (8 1/2" X 11")	each	4000	\$0.10	Exp	LS	\$400.00	\$400.00
Photocopies B/W (11" X 17")	each	2000	\$0.20	Exp	LS	\$400.00	\$400.00
Plotting (color on bond Exhibits for meetings)(24" x36")	SF	30	\$5.00	Exp	LS	\$150.00	\$150.00
DIRECT EXPENSES SUBTOTAL						\$1,159.60	\$1,160.00
SUBCONTRACTED SERVICES							
UNIT I. PRELIMINARY ENGINEERING						Raw Cost	Cost w/Markup
1. Topographic Survey - Yellow Rose Mapping	LS	1	\$29,600.00	Sub	LS	\$29,600.00	\$32,560.00
UNIT II. FINAL PLANS & SPECIFICATIONS							
1. TDR (Registration, Review and Inspection)	LS	1	\$1,775.00	Sub	LS	\$1,775.00	\$1,953.00
SUBCONTRACTED SERVICES SUBTOTAL						\$31,375.00	\$34,513.00

SUMMARY	
LABOR	
UNIT I. PRELIMINARY ENGINEERING	\$5,058.00
UNIT II. FINAL PLANS & SPECIFICATIONS	\$158,561.00
UNIT III. CONSTRUCTION PHASE	\$20,352.00
EXPENSES	
UNIT I. PRELIMINARY ENGINEERING	\$32,560.00
UNIT II. FINAL PLANS & SPECIFICATIONS	\$3,112.60
UNIT III. CONSTRUCTION PHASE	\$0.00
SUBTOTALS	
UNIT I. PRELIMINARY ENGINEERING (TOTAL)	\$37,618.00
UNIT II. FINAL PLANS & SPECIFICATIONS (TOTAL)	\$161,673.60
UNIT III. CONSTRUCTION PHASE (TOTAL)	\$20,352.00
GRAND TOTAL	\$219,643.60

* note: includes direct expenses

Sub Markup

10%



City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into a High-Density Mineral Bond Seal Service Contract with Andale Construction, Inc.	
Supporting Documents:	
Bid Reference #24-004	Meeting Date: 3/26/2024 Department: Public Works Reviewed by: Gregory W. Dickens City Manager Review:
Background/Budget Analysis:	
<p>The City Council appropriates funds in the budget, on an annual basis, for the High-Density Mineral Bond Seal Program. The current annual contract expires in May 2024.</p> <p>The FY2024 High Density Mineral Bond Program, for the street division, was bid as an annual contract that may be renewed, at the City’s option, for four additional twelve-month periods. Only one sealed bid (Bid Reference No. 24-004) for the FY2024 High Density Mineral Bond Seal Program services was opened on Feb 26, 2024. Andale Construction, Inc. of Wichita, KS, submitted the lowest responsive bid of \$205,000. Funds are available in the regular annual operating budget for these costs.</p>	
Hurst Way/Strategic Priorities:	
<p>Undertaking these street improvements is directly representative of the Council’s goals of Financial Sustainability and Infrastructure.</p>	
Recommendation:	
<p>Staff recommends City Council authorize the city manager to enter into a contract with Andale Construction, Inc., as the primary vendor during the next 12 months, in an amount not to exceed \$205,000, with the option to renew for four additional 12-month periods.</p>	



CITY OF HURST

INVITATION TO BID

The City of Hurst is soliciting sealed bids to award an annual contract for the City's **High-Density Mineral Bond Seal Service**. At the City's option, this agreement may be renewed for four additional twelve-month periods.

The successful bidder shall furnish all materials, labor, tools, public safety equipment, and incidentals necessary to install a high-performance pavement seal to City locations as set forth in these specifications.

Designate on the front, lower, left hand corner of your response envelope, the following:

Bid Reference Number: 24-004

Subject: High Density Mineral Bond Seal Service

Bid Closing Time: February 27th, 2024 @ 2:30 pm

Note: Submit one original and one copy of your bid to the City. Please note on the front page which one is the original bid.

For Convenience at Bid Opening, Enter Total Quote on this Cover Page and Include in Sealed Response Envelope. (**Do Not** Place Quoted Prices on the Outside of the Envelope):

Bidder's Name: Andale Construction, Inc.

Total Cost: \$ 205,000.00
(Also, Enter Amount in "Authority to Quote" Section)

AUTHORITY TO QUOTE

I agree to meet the stated minimum requirements as set forth in these specifications and any documents attached for the total price of:

The following quote includes the cost of all labor, materials, incidentals, tools, and safety equipment.

As Primary Supplier

ITEM	DESCRIPTION	UNIT PRICE	ESTIMATED QUANTITY	TOTAL
1.	Mobilization, Notification, Traffic Control, Clean, prepare and place High Density Mineral Bond seal in accordance with attached Bid Item Notes and Specifications	\$ 4.10	50,000 SY	\$ 205,000.00
TOTAL (Also, place this total on the cover page)				\$ 205,000.00

WE AGREE TO SERVE AS A SECONDARY SUPPLIER IF NOT SELECTED AS THE
PRIMARY SUPPLIER..... [] YES; [X] NO.

Bidder/Company Name: Andale Construction, Inc.

Authorized Representative: Peter J. Molitor

Signed: *Peter J. Molitor*

Title: President

Address: 3170 N Ohio St

City, State & Zip: Wichita, KS 67219

Telephone: () 316-832-0063

Fax #: () 316-440-8810

E-Mail Address: jackie@andaleconstruction.com

Date: 02/26/2024

Estimated Number of Days to
Begin Work After Receipt of City's Proceed Letter: 30

Warranty (Please Describe): 5 Year Warranty

ATTACHMENT I

REFERENCES

Each Bidder is to provide a minimum of three (3) verifiable references in which the Bidder has sold and maintained this or a similar product.

Company Name: City of Pflugerville, TX

Address: P O Box 589, Pflugerville, TX 78691

Contact Person: Evan Groeschel

Telephone #: () 512-990-6416

Project Awarded by Reference: P O 23478

Company Name: City of San Angelo, TX

Address: 72 W College Ave., San Angelo, TX 76903

Contact Person: Nick Cosentino

Telephone #: () 325-657-4547

Project Awarded by Reference: P O 130669

Company Name: City of Hurst, TX

Address: 1505 Precinct Line Rd., Hurst, TX 76054

Contact Person: Jerry Lewandowski

Telephone #: () 817-788-7018

Project Awarded by Reference: Contract 19-007

Article 7. CONTRACT DOCUMENTS.

The Contract Documents which comprise the entire agreement between CONTRACTOR and OWNER concerning the work consist of the following:

- 7.1 Invitation to Bid
- 7.2 Bid Specifications and CONTRACTOR's Response
- 7.3 Insurance Attachment
- 7.4 Insurance Certificate (completed by CONTRACTOR's insurance agent/broker)
- 7.5 Bid, Performance, Payment, and Maintenance Bonds

Executed on behalf of CONTRACTOR by its owner or authorized representative shown below, and on behalf of OWNER by its authorized representative, this agreement will be effective on

the 4th day of March, 2024.

OWNER:

City of Hurst
1505 Precinct Line Road
Hurst, TX 76054

CONTRACTOR:

Name: Andale Construction, Inc.
Address: 3170 N Ohio St
City: Wichita
State: Kansas
Zip: 67219

By: _____

Clay Caruthers
(Print Name)

City Manager
(Print Title)

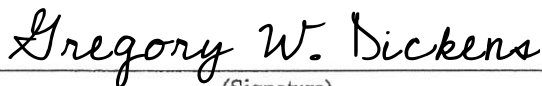
By: 

Peter J. Molitor
(Print Name)

President
(Print Title)

Seal (If Corporation)

Recommended By:


(Signature)

Gregory W. Dickens
(Print Name)

Executive Director of Public Works
(Title)

Approved as to Form and Legality this _____ day of _____, 2024.

City Attorney



City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into a contract with Innovative Roadway Solutions, LLC. for Surface Preservation Treatment application	
Supporting Documents:	
Grand Prairie Renewal Contract	Meeting Date: 3/26/2024 Department: Public Works Reviewed by: Gregory W. Dickens City Manager Review:
Background/Budget Analysis:	
<p>The City plans to have the onyx material, for surface treatment, applied to approximately 32,000 square yards annually. Application of this surface preservation treatment consists of an engineered mixture of aggregates, polymers, additives, and asphalt emulsion that is applied on the asphalt surface. This particular type of surface treatment is being utilized by staff to review its performance over time. We hope this will be another productive system for the City to utilize to delay the deterioration of the asphalt pavement.</p> <p>The City of Hurst has an interlocal agreement with the City of Grand Prairie for cooperative purchasing, Hurst City Secretary Contract #2534. The contractor has agreed to provide his services to apply the surface treatment in accordance with the City of Grand Prairie contract. The price for the 32,000 square yards will be \$2.91 per square yard, plus \$4,000 for traffic control. Funds are available in the Public Works annual operating budget. Staff will not exceed the budgeted amount of \$98,000.</p>	
Hurst Way/Strategic Priorities:	
Undertaking these street improvements is directly representative of the Council's goals of Financial Sustainability and Infrastructure .	
Recommendation:	
Staff recommends City Council authorize the city manager to contract with Innovative Roadway Solution, LLC. utilizing the interlocal cooperative purchasing agreement with the City of the Grand Prairie and the existing Surface Preservation Treatment contract Grand Prairie has with Innovative Roadway Solution, LLC	

**CITY OF GRAND PRAIRIE
AMENDMENT TO PRICE AGREEMENT**

THIS AMENDMENT is made and entered into this date by and between the **CITY OF GRAND PRAIRIE**, a Texas municipal corporation (hereinafter referred to as the "CITY"), and **INNOVATIVE ROADWAY SOLUTIONS, LLC** (hereinafter referred to as "VENDOR").

WHEREAS, the CITY and VENDOR have entered into a price agreement to provide surface preservation treatment services, per bid award resulting from vendor's response to RFB #21063, submitted by Kevin King on April 12, 2021; and

WHEREAS, the above referenced agreement was for an initial term of one year with the option to renew for four additional one year periods, totaling \$1,000,000.00 if all extensions were exercised. The Agreement was effective as of May 5, 2021, and was to terminate at midnight on April 30, 2022, unless the parties mutually agree in writing to extend the term of the Agreement through an allowable renewal option, or unless otherwise terminated as provided in paragraph XVI of the original Agreement; and

WHEREAS, VENDOR requested a price increase through a price redetermination request, substantiated in writing, to become effective on the anniversary date of the contract to cover verifiable increases in cost to the applicable industry and the first of four available renewal options were executed on May 5, 2022 and extended the term of the contract through April 30, 2023; and

WHEREAS, the above referenced agreement provides that VENDOR may request a price increase through a price redetermination request, substantiated in writing, to become effective on the anniversary date of the contract to cover verifiable increases in cost to the applicable industry; and

NOW, THEREFORE, for and in consideration of the mutual acts and covenants set out herein, the CITY and VENDOR agree as follows:

1. The CITY agrees that the price redetermination is acceptable and in the best interest of the CITY and such price increase, which is attached hereto and incorporated herein as Exhibit A; and
2. The parties mutually agree to execute the second of the four available renewal options and extend the contract expiration to midnight on April 30, 2024 at which time all of the work called for under this Contract must be completed unless the parties mutually agree in writing to extend the term of the Contract through an additional allowable renewal option, or, unless otherwise terminated as provided in provided in paragraph XVI of the original contract; and
3. The estimated annual amount to be paid to VENDOR under such contract shall remain the sum of \$249,000.00, to reflect the contract renewal; and
4. VENDOR shall obtain and shall continue to maintain at no cost to the CITY, in full force and effect during the term of this Contract, a comprehensive liability insurance policy with a company licensed to do business in the State of Texas and rated not less than "A" in the current Best Key Rating Guide, which shall include bodily injury, death, automobile liability, worker's compensation, and property damage coverage, in accordance with any CITY ordinance or directive. The minimum limits for this coverage shall be \$1,000,000.00 per occurrence / \$2,000,000 aggregate for general liability and for property damage, and \$1,000,000 combined

single limit for automobile liability unless modified in accordance with any ordinance or directive. Insurance obtained by VENDOR shall be primary and noncontributory, and CITY shall be named as an additional insured under the general liability and automobile policies. A provision shall be incorporated in the policies whereby CITY shall be given at least thirty (30) days prior notice of any material change in coverage or of cancellation of such policies, and Vendor shall provide the City with a copy of any such notice of material change in coverage or cancellation of any such policies, within three (3) business days of its receipt of such a notice. For purposes of this section, a material change in coverage includes, but is not limited to, a reduction in coverage below the amounts required under this agreement. VENDOR shall provide a waiver of subrogation in favor of the CITY on all coverages and represents that it has taken all actions necessary under the policy or policies for the City to have the status of additional insured and to effectuate any required waiver of subrogation. VENDOR shall furnish the CITY with original copies of the policies or certificates evidencing such coverage prior to commencement of any work under this Contract; and

5. This shall constitute an authorization for extension of the Agreement as set out in the agreement between the parties, and an amendment to such Agreement. All of the terms and conditions of the original Agreement shall remain in full force and effect, as amended hereto, unless set out otherwise herein.

6. NOTICES

All notices, requests, or other communications (excluding invoices) hereunder must be in writing and transmitted via overnight courier, email, hand delivery, or certified or registered mail, postage prepaid and return receipt requested to the CITY and VENDOR as follows:

CITY:

City of Grand Prairie
ATTN: Kimberley Ruiz, Senior Buyer | Purchasing Division
300 W. Main Street, Grand Prairie, TX 75050
PO Box 534045, Grand Prairie, TX 75053-4045
Phone 972-237-8089 | Email kg Ruiz@gptx.org
Accounts Payable Contact: accountspayable@gptx.org

City of Grand Prairie
ATTN: Leland Miller, Streets Division
1821 S. SH 161, Grand Prairie, TX 75052
PO Box 534045, Grand Prairie, TX 75053-4045
Phone 972-237-8529 | Email lmiller@gptx.org@gptx.org

VENDOR:

Innovative Roadway Solutions, LLC
ATTN: Kevin King, President
493 Dr. M. Roper Pkwy. N., Bullard, TX, 75757
Phone 903-894-4520 | Email kking@missouripetroleum.com

Any notice required or desired to be given to either party hereto shall be deemed to be delivered: (i) on the date of delivery, if hand delivered or emailed; (ii) one (1) day after sending, if sent by overnight courier; or (iii) three (3) days after the same is deposited in an official depository under the

regular care and custody of the United States Postal Service located within the confines of the United States of America and sent by registered or certified mail, return receipt requested, and addressed to such party at the address hereinafter specified. Either party hereto may change such party's address for notice to another address within the United States of America, but until written notice of such change is received by the other party, the last address of such party designated for notice shall remain such party's address for notice.

- 7. VENDOR VERIFIES THAT: (1) It does not have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association, as defined in Texas Government Code § 2274.001, and that it will not during the term of the contract discriminate against a firearm entity or firearm trade association; (2) It does not “boycott Israel” as that term is defined in Texas Government Code § 808.001 and it will not boycott Israel during the term of this contract; and (3) It does not “boycott energy companies,” as those terms are defined in Texas Government Code §§ 809.001 and 2274.001, and it will not boycott energy companies during the term of the contract.

EXECUTED this the _____ day of _____ 3/1/2023 . 20__.

CITY OF GRAND PRAIRIE, TEXAS

By: Whitlow C. Hill
Deputy City Manager

INNOVATIVE ROADWAY SOLUTIONS, LLC

By: Kevin L. King
Printed
Name: KEVIN L. KING

ATTEST:

for Mona Lisa Galicia
Mona Lisa Galicia, City Secretary

Title: PRESIDENT

APPROVED AS TO FORM:

Akeem Ayinde

By Akeem Ayinde, Assistant City Attorney

Surface Preservation Treatment

BID SHEET ~ RFB #21063

All prices shall include any and all delivery fees, including but not limited to freight, fuel surcharge, and environmental fees

Vendor:

IRS, LLC

Contact:

KEVIN KING

Email:

missouripetroleum.com

Phone:

9035215104

City/State:

Bullard, TX

CONTRACT QUANTITIES CONVENTIONAL				
1	Surface Seal 5,000 to 10,000 sy	1	SY	\$ 5.05
2	Surface Seal 10,001 to 20,000 sy	1	SY	\$ 4.75
3	Surface Seal 20,001 to 300,000 sy	1	SY	\$ 3.85
4	Surface Seal 30,001 to 100,000 sy	1	SY	\$ 2.91
5	Surface Seal >100,000 sy	1	SY	\$ 2.75
6	Remove reflective markers	1	EA	\$ 2.00
7	Temporary tabs	1	EA	\$ 1.00
8	Traffic Control per job	1	JOB	\$ 4,000.00
CONTRACT QUANTITIES CONVENTIONAL				
9	*Road A - Large Job 1700 x 30 (specs below)	1	JOB	
10	*Road B - Small Job 400 x 30 (specs below)	1	JOB	
TOTAL				

* Quantity bid as one each for each item. See paragraph 11 for typical work included as part of a work order. Actual quantity subject to work order details; Bid quantity will vary based on detailed work order. ** Projects for less than < 49,999 will have a scope planned for 3 or less working days.

CONTRACT QUANTITIES CONVENTIONAL				
Sample Road	Road Length (Ft)	Road Width (Ft)	Surface Seal (Sq. Yds.)	Primer (SF)
Road A	1700	30	5666.67	200
Road B	400	27	1200.00	100



City Council Staff Report

SUBJECT: Consider authorizing the city manager to enter into a grant development agreement with JG Grant Consulting LLC, dba Complete Virtual Business Solutions for a Bureau of Reclamation WaterSMART Water and Energy Efficiency grant.	
Supporting Documents:	
	Meeting Date: 3/26/2024 Department: Fiscal Services Reviewed by: Clayton Fulton City Manager Review:
Background/Budget Analysis:	
<p>The City of Hurst is currently working with Ameresco to conduct a system wide meter analysis and make recommendations for a smart water metering solution. The City has established reserves in the special projects fund to begin the project; however, fully funding the project may require additional funding beyond what has been set aside in the special projects fund.</p> <p>Staff has researched various funding mechanisms and was introduced to JG Grant Consulting (consultant) who has successfully completed various government and non-profit grants. Grant management examples provided by the consultant include over \$16 million in public works infrastructure related projects from various state and federal agencies with a 78% success rate in submitted applications. In preliminary discussions, the consultant identified an opportunity through the US Bureau of Reclamation WaterSMART Water and Energy Efficiency program.</p> <p>If approved, staff will work with the consultant to make application for the second round of grants by October 30, 2024. The notice of funding identified three funding groups, each requiring a 50% match. Funding levels are up to \$500,000, up to \$2,000,000 and up to \$5,000,000. Staff will make application for the highest level of funding based upon the project costs identified by Ameresco. After submitting our application, the Bureau of Reclamation has indicated selections will be announced by March 2025 with funding awarded by August of 2025. The consultants cost for preparing and submitting the grant is \$16,312.50.</p>	

Hurst Way/Strategic Priorities:

This agreement is consistent with the Council priorities of **Innovation, Infrastructure, and Community and Economic Vitality**. This also focuses on **Financial Sustainability** under the Hurst Way as we pursue grant opportunities for this infrastructure project.

Recommendation:

Staff recommends City Council **authorize the city manager to enter into a grant development agreement with JG Grant Consulting LLC, dba Complete Virtual Business Solutions for a Bureau of Reclamation WaterSMART Water and Energy Efficiency grant.**

Future Events Calendar

March 26, 2024

Regular City Council meetings are held on the second and fourth Tuesday of each month. Following are additional meetings, canceled meetings and public event dates.

<u>DATE AND TIME</u>	<u>ACTIVITY</u>
Friday, March 29, 2024	City Hall Offices closed in observance of Good Friday
Saturday, April 6, 2024	Extra Bulk Collection, Residents NORTH of HWY 121
Saturday, April 13, 2024	Extra Bulk Collection, Residents SOUTH of HWY 121
Saturday, April 13, 2024 8:00 a.m. – 11:00 a.m.	Household Hazardous Waste Collection Event Hurst Service Center, 2001 Precinct Line Rd.